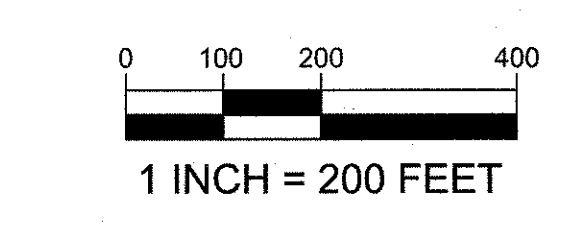


PERMITTED USES

HATCH PATTERN	LAND USE	AREA	PERCENT
	RESIDENTIAL (URBAN / MIXED USE NEIGHBORHOOD)	±79.8 AC	24%
	MIXED-USE COMMERCIAL (RESIDENTIAL / COMMERCIAL / OFFICE) (UP TO 67,500 SF OF COMMERCIAL)	±3.2 AC	1%
	PUBLIC RIGHT-OF-WAY (TO BE DEDICATED) & PRIVATE STREETS (TO BE RETAINED)	±41.1 AC	13%
	PUBLIC PARK	UP TO ±14.2 AC*	4%
	SCHOOL & PLAYFIELDS	±5.7 AC	2%
	FUTURE INDUSTRIAL (IP) (HOLDING ZONE UNTIL IP IMPLEMENTED - INTERIM RECYCLING OPERATION) (UP TO 1,440,000 SF)	±55.0 AC	17%
	PUBLIC / PRIVATE OPEN SPACE W/ WATER QUALITY FEATURES / STORAGE	±126.2 AC	38%
	EXISTING RIGHT-OF-WAY	±6.4 AC	1%
GROSS SITE AREA:		±331.6 AC	100%

REVISED GENERAL DEVELOPMENT PLAN
DATE LAST REVISED: 09-12-2014
A (PD) PLANNED DEVELOPMENT
ORDINANCE NO. 21603
CC APPROVAL DATE: 11-9-2014
EFFECTIVE DATE: 12-9-2014
SIGNED: [Signature]

LEGEND
PROJECT BOUNDARY
PROPERTY LINE
PROPERTY LINE (EXISTING)
RIGHT-OF-WAY
TYPE III BUILDING SITE



* FINAL PARK ACREAGE TO BE DETERMINED WITH THE PARKLAND AGREEMENT.

GENERAL DEVELOPMENT PLAN - EXHIBIT C
PDC13-009
COMMUNICATIONS HILL

8/13/2014	PER CITY COMMENTS	PROJECT NO:	3636.60
4/30/2014	PER CITY COMMENTS	CAD DWG FILE:	363660LLJ
01/21/2014	PER CITY COMMENTS FOR USE WITH ADEIR	DESIGNED BY:	ML
11/09/2013	PER CITY COMMENTS	DRAWN BY:	ML
8/14/2013	PER CITY COMMENTS	CHECKED BY:	TA
NO	DATE	DATE:	MARCH 2, 2013
	DESCRIPTION	SCALE:	1" = 200'

DEVELOPMENT STANDARDS (PDC13-009)

Sewage Treatment Demand. Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said Plant will cause the total sewage treatment demand to meet or exceed the capacity of San José Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.

Archaeology. Pursuant to Section 7050.5 of the Health and Safety Code, and Section 5097.94 of the Public Resources Code of the State of California in the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the land owner shall re-enter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance.

Specific Plan Conformance. This project is intended to conform to the Communications Hill Specific Plan (CHSP), as amended, unless otherwise approved as part of this Planned Development (PD) Zoning and to the satisfaction of the Director of Planning.

Residential Density. The net average residential density for the total project shall not be less than 24 DU/AC or otherwise in accordance with the CHSP. A higher net average residential density is allowed with an approved Planned Development permit. An updated "turning total" calculation of net density built under this Planned Development Zoning shall be provided with each Planned Development (PD) Permit for the construction of new residential units to demonstrate overall project density compliance. The actual density range of individual blocks or phases of the development may be below or above the average overall density.

Master Planning. A Master PD permit and Tentative Map is required prior to approval of the first final map to ensure a comprehensive and holistic approach is established for phased project build-out with the issuance of subsequent Planned Development Permits allowed for each discrete development phase. The master permit and tentative map shall address precise street placement, street landscaping, timing, interim conditions, etc.

Phasing. Phasing of project development is allowed subject to the following general criteria:

1. To ensure that the backbone urban structure is realized,
2. To ensure orderly, safe and sequential development
3. To minimize conflicts between new or existing development and on-going construction activities,
4. To minimize potential conflicts between new and existing uses, and
5. To encourage new development to occur as soon as feasible.

Fair Share. Each phase of development shall fulfill its "fair share" contribution towards the construction of on-site and off-site (non-ADP) required infrastructure (streets, stairs, pathways, parks, utilities, etc.) to the satisfaction of the Directors of Planning and Public Works as a condition of the approval of the Planned Development permit and Tentative Map for that phase. Methodology and details for fulfilling this obligation should be established in the Master Planned Development Permit and Tentative Map.

Prezoning. This Planned Development District includes "Prezoned territory" for purposes of conformance to San Jose Municipal Code Section 20.120.300.

Architecture. Final architectural design, materials and details shall be determined prior to the issuance of the PD permit for each development phase. Street elevations and renderings shall be provided with each PD permit.

Shuttle Service. In accordance with the intent of the CHSP, the overall project shall provide a shuttle bus program that links the residential neighborhood and industrial area to nearby Light Rail Transit and Caltrain stations and bus stops. An initial evaluation of the precise routes, frequency, financing mechanisms, management, operation, startup timing and feasibility of the service shall be analyzed and evaluated to the satisfaction of the Director of Planning and Public Works in conjunction with development of the TDM program or no later than prior to the issuance of the PD permit for the 1000th residential unit. The analysis should include a survey of existing residents. In the event that the initial evaluation indicates that ridership projections are not yet sufficient to support the shuttle service, the Director may require re-evaluation at a later phase of the project. The Director of Planning can effectuate, modify or remove this requirement with an approved PD permit subsequent to a determination of adequate assessment and consideration.

Grading. To meet the intended visual character of the developed hill consistent with the CHSP (vertical building elevation difference and multi-terraced development that provides vistas of the valley for residential units in close proximity to each other), the final grading should be as consistent as possible with that shown in the conceptual grading plans. Typically, steeper street grades are better, such as around the perimeter blocks 40, 41, 56 and 57. Detailed grading relationships including block layouts and adjacent public improvements shall be provided with each PD permit.

RESIDENTIAL

1. Permitted, Special and Conditional residential uses shall be those of the R-M Multiple Residence District. All Conditional and Special uses shall require an approved PD permit. "Mom & Pop" stores are allowed in the residential areas if consistent with the CHSP design standards and the issuance of a PD Permit.

2. Development Regulations and Standards

Attached Units and detached units with garages accessed off the side or rear of the unit

- a. Encroachments into the setbacks are encouraged with varying horizontal distances intended to enhance building articulation and architectural detail. Permitted building projections include, but are not limited to, architectural elements, such as stairs, stoops, porches, eave overhangs, fireplaces, bay or bow windows and trellises. Bay windows, bow windows or any enclosed inhabited projections should be limited in length and must be separated by at least 2 ft. from one another. Stairs, stoops and porches may encroach the full 3 ft.
- b. Minimum Lot Area - 1,500 square feet
- c. Building Setbacks to Property Line-
 - i) Front - 3 feet
 - ii) Side - 3 feet
 - iii) Rear - 3 feet
- d. Minimum Building Separations
 - i) Front to Front - typically 15 feet with variations allowed by the Director of Planning for porches, steps and architectural elements.
 - ii) Rear to Rear, Front to Rear and Side to Rear - typically 15 feet with variations allowed by the Director of Planning in conformance with Building and Fire Code requirements based on unit type with an approved Planned Development permit.
 - iii) Side to Side - (not applicable to detached units) - typically 15 feet variations allowed by the Director of Planning in conformance with Building and Fire Code requirements based on unit type with an approved Planned Development permit.
- e. Maximum Height - 120 feet or ten (10) stories
- f. Mechanical equipment, including but not limited to, pool equipment and HVAC equipment, must maintain a front and side setback of three feet and may be placed in the rear setback. Mechanical equipment placed where visible from a public right of way shall be screened from view to the satisfaction of the Director of Planning.

Detached Units with garages and primary entrances on the same facade

- g. Minimum Lot Area - 1,500 square feet
- h. Building Setbacks to Property Line-
 - i) Front - 5 feet.
 - ii) Side - 4 feet.
 - iii) Rear - 10 feet.
 - iv) Encroachments into the front and side setbacks are encouraged with varying horizontal distances intended to enhance building articulation and architectural detail. Permitted building projections include, but are not limited to, architectural elements, such as stairs, stoops, porches, eave overhangs, fireplaces, bay or bow windows and trellises. Bay windows, bow windows or any enclosed inhabited projections should be limited in length and must be separated by at least 2 ft. from one another. Stairs, stoops and porches may encroach into the full front setback. Encroachments into the rear setback shall be non habitable, limited to no more than 50% of the length of building and shall encroach into the required rear setback no more than 5 feet.
- i. Driveway length - Driveways shall be 10 feet or less or 18 feet or greater in length.
- j. Development should comply with the hillside development (Chapter 12) and grading (Chapter 13) provisions of the Residential Design Guidelines.
- k. Level flat pad development and flat rear yards shall be avoided consistent with General Plan Hillside Preservation Goals and Policy LU-17.4.

I. Accessory Structures:

- i) Accessory buildings and structures must be located behind the single family dwelling. No side or rear setback is required except to comply with Building and Fire Codes.
- ii) No more than 30% of the rear yard shall be covered with above-grade accessory buildings or structures. No more than 60% of a rear yard shall be covered with accessory buildings or structures of any kind.
- iii) Above-grade accessory structures shall be limited to 200 square feet in size each. Accessory structures that are visible from a public right of way shall be open in nature.
- iv) No accessory buildings shall be visible from a public right-of-way. Accessory buildings shall be limited to 200 square feet in size each.
- v) Height limitations for residential accessory buildings and structures shall be per the Zoning Ordinance standards, as amended.
- vi) Retaining walls over 2' in height require issuance of a Planned Development Permit.

m. Modifications to these standards may be allowed by the Director of Planning through a Planned Development Permit to account for site specific topography to meet the grading intent of the Communications Hill Specific Plan.

n. Mechanical equipment, including but not limited to, pool equipment and HVAC equipment, must maintain a front setback of 5', a side setback of three feet and may be placed in the rear setback. Mechanical equipment placed where visible from a public right of way shall be screened from view to the satisfaction of the Director of Planning.

3. To enhance compatibility a minimum setback separation to pedestrian "stairs" shall be established on a case by case basis prior to the issuance of the Planned Development Permit for the applicable phase of stair construction.

4. Off-street residential parking requirements shall be two (2) covered spaces per unit, except for podium building units that shall be one (1) covered space per unit. Covered tandem parking spaces are permitted with no additional review by the Director of Planning required. The parking requirement may be reduced to the satisfaction of the Director of Planning as determined appropriate on a case by case basis through a Planned Development Permit by giving consideration to one or more of the following:

- a) the particular unit or building type and design,
- b) use of on-street parking to meet a portion of the requirements, or
- c) a reduction as justified based on an adequate parking need analysis.
- d) Alternative parking arrangements and reductions with TDM measures may be approved through a Planned Development Permit.

5. The amount of private and/or common open space provided shall conform to the CHSP or Residential Design Guidelines as applicable with variations allowed on case by case basis by Director of Planning with an approved PD permit.

6. A Home Owner's Association shall be provided for all residential development. The association shall control and maintain common area items, such as landscaping, towing cars parked in unauthorized private areas, etc.

MIXED- USE COMMERCIAL (VILLAGE CENTER)

1. Permitted, Special and Conditional commercial uses shall be those of the CP Commercial Pedestrian District with the following exceptions:

- a) Permitted Use: Mixed use with attached residential units at densities consistent with those allowed under this PD zoning
- b) Conditional Use: Driving school, hotel or motel, wholesale auto dealer
- c) Prohibited Use: Pawn shop/broker, Emergency ambulance service, Bail bond establishment, Mortuary and funeral services, Payday lending establishment, Cemetery

2. All Conditional and Special uses shall require approval of a Planned Development Permit.

3. Development Regulations and Standards

- a) Minimum Lot Area - As established by approved Planned Development Permit
- b) Building Setbacks - As established by the Communications Hill Specific Plan
 - i) Front - None required
 - ii) Side - None required
 - iii) Rear - None required
 - c) Maximum Height - 120 feet

4. Mixed Use Commercial Parking:

- a) Non-residential uses: Typical parking requirements for non-residential uses should be no more than one (1) parking space per 500 sq. ft. net square feet of building floor area. Alternative parking arrangements and reductions due to TDM measures or demand analysis may be approved through a PD Permit.
- b) Residential uses: Residential parking requirements shall be per Table 20-210 of the Zoning Ordinance, as amended. Alternative parking arrangements and reductions with TDM measures or demand analysis may be approved through a Planned Development Permit.

5. **Commercial Phasing.** Prior to the issuance of a Building Permit for any residential unit on Blocks 17, 18 or 29, the residential developer shall construct all site infrastructure and underground improvements for the 67,500 square foot mixed-use "village" retail development. The site infrastructure and underground improvements for the mixed-use commercial buildings shall be constructed as follows: a) public street improvements adjacent to the village center parcels, b) underground utilities in the public streets with manholes that can be utilized for connection of future service laterals by the commercial development, and c) sheet graded pads for the village center that conforms to the adjacent street elevations. The intent is to provide pads that are ready to build with the service sizing, locations, and foundation grading to be done by the commercial developer based on approved design.

INDUSTRIAL

1. Permitted, Special and Conditional industrial uses shall be those of the IP Industrial Park District. All conditional and special uses shall require an approved PD permit.

2. Industrial Development Regulations, Standards and Performance Standards shall be those of the IP Industrial Park District, except the maximum building height shall not project above the 250 feet elevation based upon the NVGD 29 to protect the view sheds from the top of the hill and perimeter trail.

3. Director of Planning has discretion to adjust industrial development standards with an approved PD permit.

4. Industrial Parking requirements shall be per Table 20-120 of the Zoning Ordinance, as amended. Alternative parking arrangements and reductions due to TDM measures or demand analysis may be approved through a Planned Development Permit.

5. A Planned Development permit to master plan the area designated for industrial development shall be required prior to the issuance of the first building permit for construction in said area. This Master PD permit and Tentative Map shall include, but not be limited to, details, final design and phasing of all related and required improvements, such as public streets, stairs, pedestrian connections, etc. as shown to be constructed in connection with development of the land area designated for industrial park use.

6. A design study for the stairs identified as No. 27 in the CHSP shall be completed to the satisfaction of the Director of Planning prior to the approval of a Planned Development permit or Tentative Map for the construction of adjacent industrial area streets and/or development. This condition shall apply in any case and regardless of any other parkland dedication or credit considerations. The final location, alignment and construction schedule of the stairway to the east of the intersection of Communications Hill Blvd and "Main Street" and the proposed temporary EVA road in the industrial area depicted on the Conceptual Site Plan should be included in the Master Planned Development Permit for the industrial area.

7. An off-street "class I" pedestrian/bicycle connection, as defined in the CalTrans Highway Design Manual, shall be constructed through the industrial area to connect the Communications Hill Trail System to the CalTrain Station. The construction of this connection shall conform to the San Jose Trail Design Guidelines or other appropriate design guidelines approved by the Director of Public Works. The exact alignment of this connection and final dimensions shall be set forth in the Planned Development Permit and Tentative Map associated with the Master Plan for the industrial development and should be consistent with the intended non-vehicular connections of the CHSP and the approved ADP or as otherwise approved by the Director of Planning.

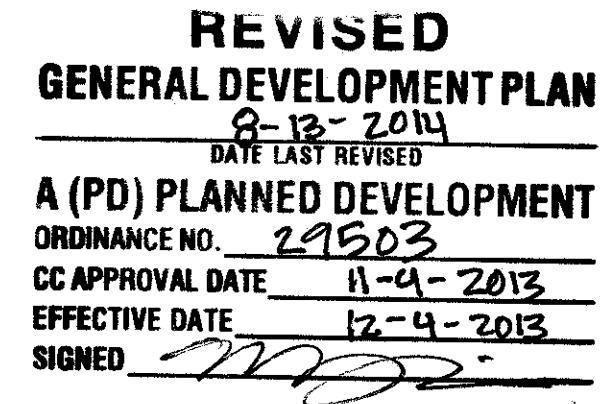
8. Improvements to Old Hillsdale Avenue must be completed no later than when 50% of the industrial development area along Old Hillsdale Avenue is constructed.

OPEN SPACE

1. Allowed use of areas designated as private or public open space shall be limited to those "non-structural" uses of the OS Open Space zoning district. Conditional or Special non-structural uses shall require a Planned Development permit.

2. Any Private Hillside Open Space areas shall not be developed and shall be preserved as open space in perpetuity via a conservation easement or through a property grant deed to a public or quasi-public entity, or similar legally binding mechanism to ensure the preservation, maintenance and management those areas as open space.

3. Prior to approval the landscaping plan and plant palette for the open hillsides shall be reviewed by a qualified biologist or botanist for appropriateness and suitability of plant materials given the physical characteristics of the site.



LEGAL NON-CONFORMING RECYCLING USE

Existing legal and conforming uses as approved by County of Santa Clara Use Permit File No. 4728-43-60-03P and Architecture & Site Approval File No. 4728-43-60-01A-03P shall be allowed to continue subject to full compliance with the existing County permit conditions. This Planned Development zoning allows for the existing surface mining permit/reclamation plan and County use permit operations (surface mine, concrete, asphalt and soil recycling facility) to continue. The general location of the existing recycling operations is in the area designated for Industrial Park use. The scope and location of the recycling operations shall be limited to those permitted and approved under the existing County permits. Upon cessation of the existing recycling operation and use, the allowed uses shall be those of the base zone until such time as the Industrial Park land is developed.

PARKS & TRAILS

1. **PDO/PIO:** This residential project is subject to either the requirements of the City's Park Impact Ordinance (Chapter 14.25 of Title 14 of the San Jose Municipal Code) or the Parkland Dedication Ordinance (Chapter 19.38 of Title 19 of the San Jose Municipal Code) for the dedication of land and/or payment of fees in-lieu of dedication of land for public park and/or recreational purposes under the formula contained within in the Subject Chapter and the Associated Fees and Credit Resolutions.

2. The final public park and trail acreage, location, dedication and design will be determined in conjunction with the Planned Development permits, Tentative Maps and required Parkland Agreement(s).

3. A design study for the AT&T tower park site, including the stairs as proposed in the CHSP, shall be completed to the satisfaction of the Director of Planning prior to the approval of a Planned Development permit or Tentative Map for the construction of second phase of residential development. This condition shall apply in any case and regardless of any other parkland dedication or credit considerations.

4. In the event that the approximately ten-acre school and playfield site is not developed for a school as designated in the Communications Hill Specific Plan and this Planned Development zoning, consideration should be given to the potential use of some or all of that 10 acre land area for public parks purposes.

5. Consistent with the Communications Hill Specific Plan, the project shall construct a multi-modal trail system, including any necessary stairways, platforms, or ramps, within the open hillside area and largely separate from the road system. To the greatest extent feasible the trail segments should be constructed as off-street "Class I" trails as defined by the CalTrans Highway Design Manual, or as a minimum standard should be constructed consistent with the San Jose Trail Design Guidelines. The exact alignment of the trails and final dimensions shall be set forth in the Planned Development Permits and/or Tentative Maps associated with that phase of development. A determination of credit for towards fulfillment of the parkland obligation will be made by the requisite parkland agreement.

PUBLIC WORKS

1. **Final Design.** Final right-of-way locations may be modified and will be determined prior to the issuance of a Planned Development permit to the satisfaction of the Director of Public Works.

2. **Tower Access.** Project shall provide permanent access to the future land locked parcel APN 455-09-040, Lands of Joaquin Bear, LLC to the satisfaction of the Director of Public Works.

3. **Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the approval of the Tract or Parcel Maps by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the Public Works conditions.

4. **Construction Agreement:** The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.

5. **Grading/Geology:**

- a) A grading permit is required prior to the issuance of a Public Works Clearance.
- b) If the project proposes to haul more than 10,000 cubic yards of cut/fill to or from the project site, a haul route permit is required. Prior to issuance of a grading permit, contact the Department of Transportation at (408) 535-3850 for more information concerning the requirements for obtaining this permit.
- c) Because this project involves a land disturbance of one or more acres, the applicant is required to submit a Notice of Intent to the State Water Resources Control Board and to prepare a Storm Water Pollution Prevention Plan (SWPPP) for controlling storm water discharges associated with construction activity. Copies of these documents must be submitted to the City Project Engineer prior to issuance of a grading permit.
- d) A Certificate of Geologic Hazard Clearance was issued for the proposed project. Refer to the memo dated May 12, 2014 for additional information and conditions of the clearance.

6. **Transportation:**

- a) A traffic report by Hexagon Transportation Consultants, Inc. dated May 28, 2014 was received and is under review. A final traffic memo that summarized the report and documents the transportation related conditions on the project shall be provided prior to environmental clearance.
- b) The project includes an area development policy (Communications Hill Specific Plan Area Development Policy (CHSPADP)) to address infeasible traffic mitigation measures consistent with the Envision San José 2040 General Plan. Upon the adoption of the policy by City Council, the project will be required to construct transportation improvements as described in the CHSPADP. Development triggers will be established to determine construction phasing and to ensure the improvements are completed in a timely manner. The triggers will be generally described in the master PD Permit. Detailed trigger conditions of approval will be identified in subsequent PD permits.

7. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of site design measures, source controls, and stormwater treatment measures to minimize stormwater pollutant discharges.

- a) The applicant is required to submit additional information in subsequent planning permits with respect to calculations, numerical sizing and final Stormwater Control Plans.
- b) The project proposes to modify the two (2) existing stormwater basins adjacent to the Dairy Hill Development and Tuscany Hill Development respectively to comply with Policy 6-29.
- c) Final inspection and maintenance information on the post-construction treatment control measures must be included on the final Stormwater Control Plan.

8. **Stormwater Peak Flow Control Measures:** The project is located in a Hydromodification Management (HM) area and will create and/or replace one acre or more of impervious surface. The project must comply with the City's Post-Construction Hydromodification Management Policy (Council Policy 8-14 which requires HM projects to demonstrate that post-project runoff does not exceed estimated pre-project runoff rates and durations.

- a) The applicant is required to submit additional information in subsequent planning permits with respect to calculations, numerical sizing, as well as final HM plans/reports. The submittals shall coincide with the phasing of the development.
- b) This project proposes to modify the two (2) existing stormwater basins adjacent to the Dairy Hill Development and Tuscany Hills Development respectively to comply with Policy 8-14.
- c) Final inspection and maintenance information for the HM controls must be included on the final HM plans.

9. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.

10. **Assessments:** In order to facilitate the build-out of the parcels consistent with the Communications Hill Specific Plan, and to maintain the unique public features, elements or amenities contemplated in the CHSP, annexation into Community Facilities District No. 8 (Communications Hill) or the formation of a new district may be required.

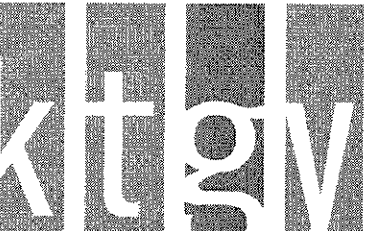
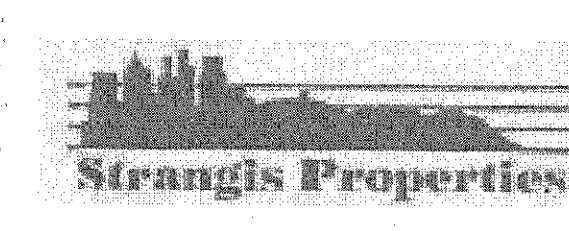
11. **Sewer:** A conceptual sanitary and storm sewer plan for the overall project has been submitted. The applicant is required to submit additional information in subsequent planning permits with respect to calculations, numerical sizing, and final sanitary and storm sewer plans. The submittals shall coincide with the phasing of the development and the plans will be finalized with subsequent planning permits.

12. **Electrical:**

- a) Electroliers along the proposed project street frontages will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.
- b) Provide clearance for electrical equipment from driveways, and relocate driveway or electrolier. The minimum clearance from driveways is 10' in commercial areas and 5' in residential areas.
- c) Provide clearance for electroliers from overhead utilities and request clearance from utility companies. Clearance from electrolier(s) must provide a minimum of 10' from high voltage lines; 3' from secondary voltage lines; and 1' from communication lines.

13. **Street Trees:**

- a) The locations of the street trees will be determined at the street improvement stage. Contact the City Arborist at (408) 794-1901 for the designated street tree. Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects".
- b) Landscaping plan shall follow the guidelines detailed with the Communications Hill Specific Plan.
- c) Show all existing trees by species and diameter that are to be retained or removed. Obtain a street tree removal permit for any street trees that are over 6 feet in height that are proposed to be removed.



GENERAL DEVELOPMENT PLAN - EXHIBIT C PDC13-009 COMMUNICATIONS HILL

NO	DATE	DESCRIPTION	PROJECT NO.	SCALE:
Δ	01/3/2014	PER CITY COMMENTS	3636.00	1" = 200'
Δ	4/30/2014	PER CITY COMMENTS	CAD DWG FILE:	363600LU
Δ	01/21/2014	PER CITY COMMENTS FOR USE WITH ADJER	DESIGNED BY:	ML
Δ	11/08/2013	PER CITY COMMENTS	DRAWN BY:	ML
Δ	01/14/2013	PER CITY COMMENTS	CHECKED BY:	TA
			DATE:	MARCH 2, 2013

LAND USE NOTES

DEVELOPMENT STANDARDS (PDC13-009) continued

- 14. Street Improvements:**
- Applicant shall be responsible to remove and replace curb, gutter and sidewalk damaged during construction of the project.
 - Construct necessary curb, gutter and sidewalk at locations within the project boundary.
 - Dedication and improvement of the public streets to the satisfaction of the Director of Public Works.
 - All in-tract improvements including all public streets, the Communications Hill Boulevard Bridge, stormwater facilities, sewer mains shall be completed in a timely manner and phased such that it coincides with the CHSPADP improvements as well as to the satisfaction of the Director of Public Works. To ensure these improvements are implemented in a timely manner:
 - The Applicant shall submit expenditure reports containing up-to-date accounting and schedules of all in-tract improvements.
 - Expenditure reports shall be submitted both annually and per development phase.
 - The expenditure reports shall be reviewed and approved by the Director of Public Works.
- 15. Private Streets:**
- Per Common Interest Development (CID) Ordinance, all common infrastructure improvements shall be designed and constructed in accordance with the current CID standards.
 - Final private street improvement plans may be required to the satisfaction of the Director of Public Works.

LANDSCAPING

- Low hedges, flowering shrubs and other appropriate plantings are encouraged within the building set back areas.
- The rock outcroppings located below the County communications facility approximately 300 ft. from Carol Drive shall be preserved an amenity.
- The project shall ensure the long-term viability and survivability of all landscaping due to unfavorable existing soil conditions. Specific landscaping measures, such as over excavation, shall be determined and required with a Planned Development Permit.

AREA DEVELOPMENT POLICY

The Communications Hill Specific Plan Area Development Policy (ADP) is the alternative means of project compliance with the City's Transportation Level of Service Policies and provides a partial basis for the adoption of a FSEIR CEQA Statement of Overriding Considerations for the project. The project is required to implement the improvements listed in the CHSPADP with an expenditure equal to \$30 million dollars subject to an annual cost escalation on the unspent balance beginning on January 1, 2020 based on the Engineering News Record (ENR) Construction Cost Index for San Francisco, CA. The City and the Project Applicant will make a good faith effort to construct the ADP improvements within the 2014 cost estimate, including adjustments equivalent to the annual increase in the construction cost index every January 1 commencing on January 1, 2020. In order to construct the ADP improvements within the \$30 million (including the periodic construction cost index increases) the City and Project Applicant may agree to value engineer any of the ADP improvements to the extent that such value engineering does not negatively affect the intended use of the improvements. Details regarding the implementation of the CHSPADP are included in that document and the Public Works transportation memo dated October 6, 2014.

REFERRAL TO COUNTY COMMUNICATIONS

The City will refer all development permit applications related to this Planned Development Zoning directly to the Director of Santa Clara County Communications at 2700 Carol Drive, San José, CA 95125, and email (bert.hildebrand@911.sccgov.org) for review and written comment. The County will have 30 days to review and comment on the permit application.

ENVIRONMENTAL MITIGATION MEASURES AS CONDITIONS OF APPROVAL

Transportation

MM TRAN-4.1: At the intersection of Communications Hill Boulevard and Curtner Avenue the necessary improvement shall include the addition of a second 650-foot long westbound left-turn lane. The improvement would require median modifications, removal of the "pork chop" islands, restriping of lanes, and traffic signal modifications. Sufficient right-of-way is available for this mitigation measure. These improvements are included in the Curtner Avenue Corridor improvements described in the CHSP Area Development Policy, which is included in the proposed project.

Noise

MM NOI-1.1: Site specific noise analyses shall be conducted prior to the issuance of a PD permit for future residences to be located along the railway near Esfahan Drive and near the Carol Drive residences to verify consistency with City noise standards. The study will identify site specific mechanisms to reduce interior noise to levels considered acceptable in the City's General Plan and Zoning Ordinance, such as forced air mechanical ventilation systems, window rating standards, and fences and/or noise barriers.

MM NOI-2.1: Future retail and industrial park uses on the project site will be required to maintain a noise level of 55 dBA at property lines located adjacent to sensitive receptors. Prior to the issuance of a PD permit for future retail and industrial park uses, the project applicant shall submit an acoustical study demonstrating compliance with the City's requirements.

MM NOI-3.1: The project shall implement the following measures to reduce construction noise impacts to a less than significant level:

- Limit construction activity to 7:00 am to 7:00 pm on weekdays, 9:00 am to 5:00 pm on Saturdays, and no construction activity on Sundays or holidays.
- Schedule highest noise-generating activity and construction activity along the site boundaries near Kurte Park, Tuscan Hills Residences, Esfahan Drive Residences, Millpond Community, and Carol Residences between 9:00 am and 3:00 pm whenever feasible.
- Install temporary construction noise barriers at residential property lines to reduce noise at locations closest to residences.
- Equip all internal combustion engine-driven equipment with original factory (or equivalent) intake and exhaust mufflers which are maintained in good condition.
- Prohibit and post signs prohibiting unnecessary idling of internal combustion engines.
- Locate all stationary noise-generating equipment such as air compressors and portable generators as far as practicable from noise-sensitive land uses.
- Locate staging areas and construction material areas as far as practicable from noise-sensitive land uses.
- If impact pile-driving is proposed, temporary noise control blanket barriers shall surround pile drivers or be erected in a manner to shield adjacent land uses. Foundation pile holes shall be pre-drilled to minimize the number of impacts required to seat the piles. All adjacent land uses shall be notified of any pile-driving schedule in writing.
- Utilize "quiet" air compressors and other stationary equipment where feasible and available.
- Designate a noise disturbance coordinator who will respond to neighborhood complaints about construction noise by determining the cause of the noise complaints and require implementation of reasonable measures to correct the problem.
- Conspicuously post a telephone number for the disturbance coordinator at the construction site.

Air Quality

MM AIR-1.1: Consistent with guidance from the BAAQMD, the following additional actions shall be required of construction contracts and specifications for the project:

- Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 2 minutes. Clear signage shall be provided for construction workers at all access points;
- The project shall develop a plan, which will be implemented and adhered to during construction activities, demonstrating that the off-road equipment (more than 50 horsepower) to be used in the construction project (i.e., owned, leased, and subcontractor vehicles) would achieve a project wide fleet-average of at least 70 percent NOX reduction compared to unmitigated emissions. Acceptable options for reducing emissions include the use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, add-on devices such as particulate filters, and/or other options as such become available. Specifically, all diesel-powered off-road equipment larger than 50 horsepower and operating on the site for more than two days continuously shall meet U.S. EPA particulate matter emissions standards for Tier 4 engines or equivalent;
- All construction equipment, diesel trucks, and generators shall be equipped with Best Available Control Technology for emission reductions of NOX;
- All contractors shall use equipment that meets Air Resource Board's most recent certification standard for off-road heavy duty diesel engines; and
- Minimize the number of hours that equipment will operate, including the use of idling restrictions.

MM AIR-2.1: The project shall develop and implement a transportation demand management (TDM) Program, consistent with City requirements. At a minimum, the TDM program shall include the following measures:

- Consider providing transit stops on site, such as at convenient locations on Communications Hill Boulevard with pedestrian access no more than 0.25 mile from the project center. Also consider the posting of transit information at high pedestrian traffic areas on-site. Any resulting plans to modify transit stops would have to be made in accordance with the City and VTA;
- Bicycle amenities should be provided for the project. This would include secure bicycle parking for employees and multi-family residents along with the proposed bike lane connections;
- Provide on-site shower and locker room facilities for employee use to the extent feasible;
- Consider providing pedestrian signage and signalization. Enhanced pedestrian crossings at strategic areas with countdown signals should be considered;
- Encourage employers at the project site to purchase Eco Passes from VTA to provide transit incentives for employees. In addition, project site employees should be required to promote transit use by providing transit information and incentives to employees; and
- The applicant and City shall explore opportunities to implement a "car share program" and measures that would reduce vehicle travel by reducing parking availability (such as an employee parking cash out program).

MM AIR-2.2: A future heavy-duty truck route to the industrial portion of the site shall be designated, so as to minimize long-term disturbance and exposure of TAC pollutants to project residences and sensitive receptors.

Cultural Resources

MM CUL-1.1: The project proponent shall have a qualified archaeologist present to monitor subsurface construction excavation activities into native soils in the vicinity of CA-SCL-68, near Narvaez Avenue. The frequency and duration of the monitoring shall be at the discretion of the archaeologist and dependent on his/her subsurface observations during construction operations.

MM CUL-1.2: Construction personnel involved in all site clearing and subsequent grading and trenching associated with the proposed project shall be warned that there is a potential for the discovery of archaeological and paleontological materials. Indicators of archaeological site deposits include, but are not limited to, the following: darker than surrounding soils, evidence of fire (ash, fire altered rock and earth, carbon flecks), concentrations of stone, bone and shellfish, artifacts of these materials and burials, either animal or human. Potential fossil types that may be encountered will be discussed.

MM CUL-1.3: In the event any unanticipated prehistoric or significant historic era cultural materials are exposed during construction, all grading and/or excavation operations within 50 feet of the find shall be halted, the Director of PBCE shall be notified, and a qualified professional archaeologist shall examine the find and make appropriate recommendations regarding the significance of the find and the appropriate mitigation. The recommendation shall be implemented and could include collection, recordation, and analysis of any significant cultural materials.

MM CUL-1.4: In the event that human remains are found, all project-related construction shall cease within a 50-foot radius of the find in order to proceed with the testing and mitigation measures required. Pursuant to Section 7050.5 of the Health and Safety Code and Section 5097.94 of the Public Resources Code of the State of California:

- In the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the landowner shall re-enter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance.

MM CUL-1.5: If cultural resources or remains are discovered during any construction associated with the project, a final report shall be submitted to the satisfaction of the Director of PBCE. This report shall contain a description of the mitigation program that was implemented and its results, including a description of the monitoring and testing program, a list of the resources found, a summary of the resources analysis methodology and conclusion, and a description of the disposition/curation of the resources. The report shall verify completion of the mitigation program to the satisfaction of the Director of PBCE.

MM CUL-4.1: If paleontological resources are discovered during construction, all work on the site will stop immediately until a qualified professional paleontologist can assess the nature and importance of the find and recommend appropriate treatment. Treatment may include preparation and recovery of fossil materials so that they can be housed in an appropriate museum or university collection and may also include preparation of a report for publication describing the finds. The City will be responsible for ensuring that the recommendations of the paleontological monitor regarding treatment and reporting are implemented.

Hazards and Hazardous Materials

MM HAZ-1.1: The project applicant shall prepare an Asbestos Dust Mitigation Plan and submit the plan to BAAQMD for review and approval prior to grading activities. The plan must describe dust control measures during grading as well as long term dust control measures. The plan shall include, at a minimum, the following measures:

- Track-out prevention and control measures;
- Active stockpiles shall be adequately wetted or covered with tarps;
- Control for disturbed surface areas and storage piles that remain inactive for more than seven days;
- Control for traffic on unpaved roads, parking lots, and staging areas;
- Control for earthmoving activities; and,
- Control for off-site transport.

MM HAZ-1.2: Disturbed surfaces with NOA exceeding the BAAQMD threshold concentration of 0.25 percent shall be stabilized using one or more of the following methods:

- Establishment of a vegetative cover;
- Placement of at least three inches of non-asbestos-containing material;
- Paving;
- Any other measure deemed sufficient to prevent wind speeds of 10 miles per hour or greater from causing visible dust emission.

MM HAZ-2.1: Prior to issuance of a PD Permit, a soil management plan (SMP) shall be developed that identifies management practices for characterizing the impacted soil that may be encountered during site development activities. If, after characterizing the impacted soil, concentrations of chemicals are found above residential CHHSLs or other clean up level approved by a regulatory oversight agency, remedial measures are required. Possible remedial measures include: 1) excavation and off-site disposal of the impacted soil at a permitted facility; 2) use of engineering and administrative controls such as consolidation and capping of the soil on-site and land use covenants restricting certain activities/uses; and 3) a combination of the above. The project shall obtain regulatory agency oversight and approval of the remedial measure(s) prior to site development.

The SMP shall include the following elements:

- procedures for transporting and disposing the waste material generated during removal activities,
- procedures for stockpiling soil on-site,
- provisions for collecting additional soil samples in previously inaccessible areas to confirm the extent of soil contamination, following demolition activities,
- confirmation soil sampling to verify achievement of remediation goals,
- procedures to ensure that fill and cap materials are verified as clean,
- truck routes, and/or
- staging and loading procedures and record keeping requirements.

MM HAZ-3.1: To avoid the spread of harmful forms of contamination, the discharge of any water from dewatering activities will be required to comply with NPDES permit requirements, which may involve installation of a treatment system(s) at the dewatering location.

Biological Resources

MM BIO-1.1: To the maximum extent practicable, trees and large shrubs planned for removal shall be removed during the non-breeding season (September 1 through January 31). If it is not possible to avoid tree removal or other disturbances during the breeding season (February 1 through August 31), a qualified biologist shall conduct a pre-construction survey in all trees, large shrubs, or other areas of potential nesting habitat within the construction footprint and within 250 feet of the footprint, if such disturbance will occur during the breeding season. This survey shall be conducted no more than 14 days prior to the initiation of demolition/construction activities during the early part of the breeding season (February through April) and no more than 30 days prior to the initiation of these activities during the late part of the breeding season (May through August).

MM BIO-1.2: If nesting raptors or migratory birds are detected on the site during the survey, a suitable construction-free buffer shall be established around all active nests. The precise dimension of the buffer (a minimum of 150 feet, up to a maximum of 250 feet) would be determined at that time and may vary depending on location and species. Buffers shall remain in place for the duration of the breeding season or until it has been confirmed by a qualified biologist that all chicks have fledged and are independent of their parents.

MM BIO-2.1: Regulatory Agency Mitigation. If required by the pertinent regulatory agencies, the applicant shall satisfy agency mitigation requirements by compensating for aquatic impacts at a 1:1 replacement-to-loss ratio either on-site or offsite, in addition to payment of wetland fees via the HCP.

If the applicant chooses to complete its own mitigation on-site, several areas within designated open space on the site may have the potential to accommodate such mitigation. Potential opportunities for wetland/aquatic creation or restoration include, but are not limited to, as aquatic/wetland feature along the proposed water quality and detention basins, and creation of one or more aquatic/wetland features in the eastern part of the site designated as open space. These areas could offset some of the required wetland fee and/or may also satisfy a portion of the anticipated mitigation requirements by the CDFW and RWQCB. An on-site mitigation and monitoring plan (MMP) would need to be developed to mitigate for impacts to these features. At a minimum, the MMP shall:

- Define the location of all restoration/creation activities;
- Provide evidence of a suitable water budget to support any created aquatic and riparian habitats;
- Identify the species, amount, and location of plants to be installed in the aquatic and riparian habitats;
- Identify the time of year for planting and method for supplemental watering during the establishment period;
- Identify the monitoring period. This should be not less than 5 years for aquatic restoration;
- Define success criteria that will be required for restoration efforts to be deemed a success;
- Identify adaptive management procedures that accommodate the uncertainty that comes with restoration projects. These include, but are not limited to, measures to address colonization by invasive species, unexpected lack of water, and excessive foraging of installed plants by native wildlife;
- Define management and maintenance activities (weeding of invasive plants, providing for supplemental water, repair of water delivery systems, etc.); and
- Provide for surety in funding the monitoring and ensuring that the created aquatic and riparian habitats fall within lands to be preserved and managed into perpetuity.

Any remaining mitigation required by these two agencies to satisfy the additional 1:1 replacement-to-loss ratio would need to be obtained offsite (e.g., via the purchase of credits from an approved mitigation bank).

MM BIO-3.1: Prior to approval of a PD Permit for any phase of development on the project site, an updated tree survey, which identifies the number of ordinance size trees on the site, prepared by a certified arborist or licensed landscape architect shall be completed. In locations where preservation of existing trees is not feasible due to site constraints, relocation and replanting of significant existing trees (especially native species) shall be incorporated into the project, where feasible and appropriate, to the satisfaction of the Director of PBCE.

MM BIO-3.2: Trees to be removed as part of the project shall be replaced at the following ratios:

Table 4.7-1: Tree Replacement Requirements				
Diameter of Tree to be Removed	Type of Tree to be Removed			Minimum Size of Each Replacement Tree
	Native	Non-Native	Orchard	
18 inches or greater	5:1	4:1	3:1	24-inch box
12 - 18 inches	3:1	2:1	None	24-inch box
Less than 12 inches	1:1	1:1	None	15-gallon container

Notes: xx = tree replacement to tree loss ratio.
Trees greater than 18-inches in diameter shall not be removed unless a Tree Removal Permit, or equivalent, has been approved for the removal of such trees.

MM BIO-3.3: The species and exact number of trees to be planted on the site shall be determined in consultation with the City Arborist and to the satisfaction of the Director of PBCE. In the event the sites do not have sufficient area to accommodate the required tree mitigation, one or both of the following measures shall be implemented at the PD Permit stage:

- The size of a 15-gallon replacement tree may be increased to 24-inch box and count as two replacement trees.
- An alternative site(s) will be identified for additional tree planting, with a priority placed on proximity to the project site. Alternative sites may include local parks or schools, or installation of trees on adjacent properties for screening purposes, to the satisfaction of the Director of PBCE.
- A donation equal to the replacement/installation cost per replacement tree will be made to Our City Forest or a similar organization for in-lieu off-site tree planting in the community. These funds will be used for tree planting and maintenance of planted trees for approximately three years. A donation receipt for off-site tree planting will be provided to the Planning Project Manager prior to issuance of a development permit.

Geology and Soils

MM GEO-1.1, 2.1, 3.1, and 3.1.1: The project proponent shall have a qualified geotechnical professional complete a design-level geotechnical investigation to address the geologic hazards identified on the site. The investigation shall be consistent with the guidelines published by the State of California (CDMG Special Publication 117) and the Southern California Earthquake Center (SCEC report). The investigation shall identify the specific design features that will be required for the future development on-site, including site preparation, compaction, trench excavations, foundation and subgrade design, drainage, and pavement design. Field exploration shall concentrate on obtaining engineering parameters of the site soils for determining site specific bearing capacity, settlement, and liquefaction potential. The geotechnical investigation shall be reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance.

Examples of measures to be included in the design-level geotechnical investigation include the following:

Slope Stability:

- The maximum inclination of cut and fill slopes shall be 2:1 (horizontal to vertical) unless retained by a retaining wall.
- For cut slopes in weak serpentine or claystone, slopes higher than 40 feet inclined at 2:1 will require geogrid-reinforced fills. For cut slopes in stronger serpentine, slopes higher than 50 feet inclined at 2:1 will require geogrid-reinforced fills.
- In general, fill slopes greater than 40 feet in height will require either flattening the slope to 2.5:1 or reinforcing the fill with geogrid.
- Benches shall be shown on the grading plans and shall be at least six feet wide and spaced at a maximum of 30 feet in vertical height.
- Every effort shall be made to reduce cut/fill transitions occurring in the slopes. These areas will require remedial grading.
- "V" ditches or "J" ditches shall be placed along the benches and the tops of the slopes to intercept surface water.
- Irrigation of the slope areas shall be kept to a minimum. Subdrains may be necessary to remove excess surface and subsurface water.
- Grading plans shall show locations of keyways, subdrains, and colluvium and fill removals. Grading plan details shall include geogrid type, strength, vertical spacing, and length, subdrain details, and keying and benching details.

Expansive Soils:

- Structures located on relatively flat building pads shall be founded on post-tensioned mat foundations.
- Structures located on slopes shall be designed on pier and grade beam foundation systems.
- Reuse of claystone and colluvium on the site shall be limited to deeper fill areas and not at the outer edges of new engineered fill slopes.

Compressible Soils:

- Quarry stockpiles and soils disturbed or loosened by quarry operations shall be excavated and recompacted.
- During mass grading, colluvium soils shall be removed down to bedrock.

Artificial Fill:

- Artificial fill shall be removed and replaced with engineered fill.

Shallow Groundwater:

- Routine earthwork procedures such as chemical treatment, drying/mixing soil before compaction, and installing subdrains shall be implemented during project construction.

MM GEO-1.2 and 2.2: The proposed project shall be constructed in accordance with the standard engineering practices in the Uniform Building Code.

MM GEO-1.3 and 2.3: Prior to issuance of a Public Works Clearance and prior to commencement of excavation and construction, the project proponent shall obtain a grading permit. The grading permit requires implementation of standard grading and best management practices that would prevent substantial erosion and siltation during development of the site.

MM GEO-4.1: Quality Assurance and Construction Quality Control (QA/QC) shall be provided consistent with a Construction Quality Assurance (CQA) Plan for remediation of the abandoned mercury mine. The intent of the CQA Plan is to provide independent third party verification and testing to demonstrate that the Contractor has met its obligations in the supply and installation of earthwork (soils) materials according to the design and project specifications and Backfill Work Plan. Specific components of the QA/QC process are included in Appendix H-2 and will generally consist of the following:

- Assessment of the underground working stability;
- Assessing the quality and competence of the rock material encountered during over-excavation to confirm the over-excavation depth required.
- Addressing on-site queries and making recommendations as to any revisions to the original remediation plan;
- Working with on-site surveyors to develop initial estimate of backfill quantities;
- Issuing daily reports;
- Documentation of remediation quantities; and
- Issuing as-built report.

MM GEO-4.2: To avoid potential incidents, all MSHA and OSHA regulations and guidelines shall be followed for mine remediation. A qualified safety officer shall prepare a Worker Safety Program for the project and shall oversee all aspects of the program. The program will include at least the following measures:

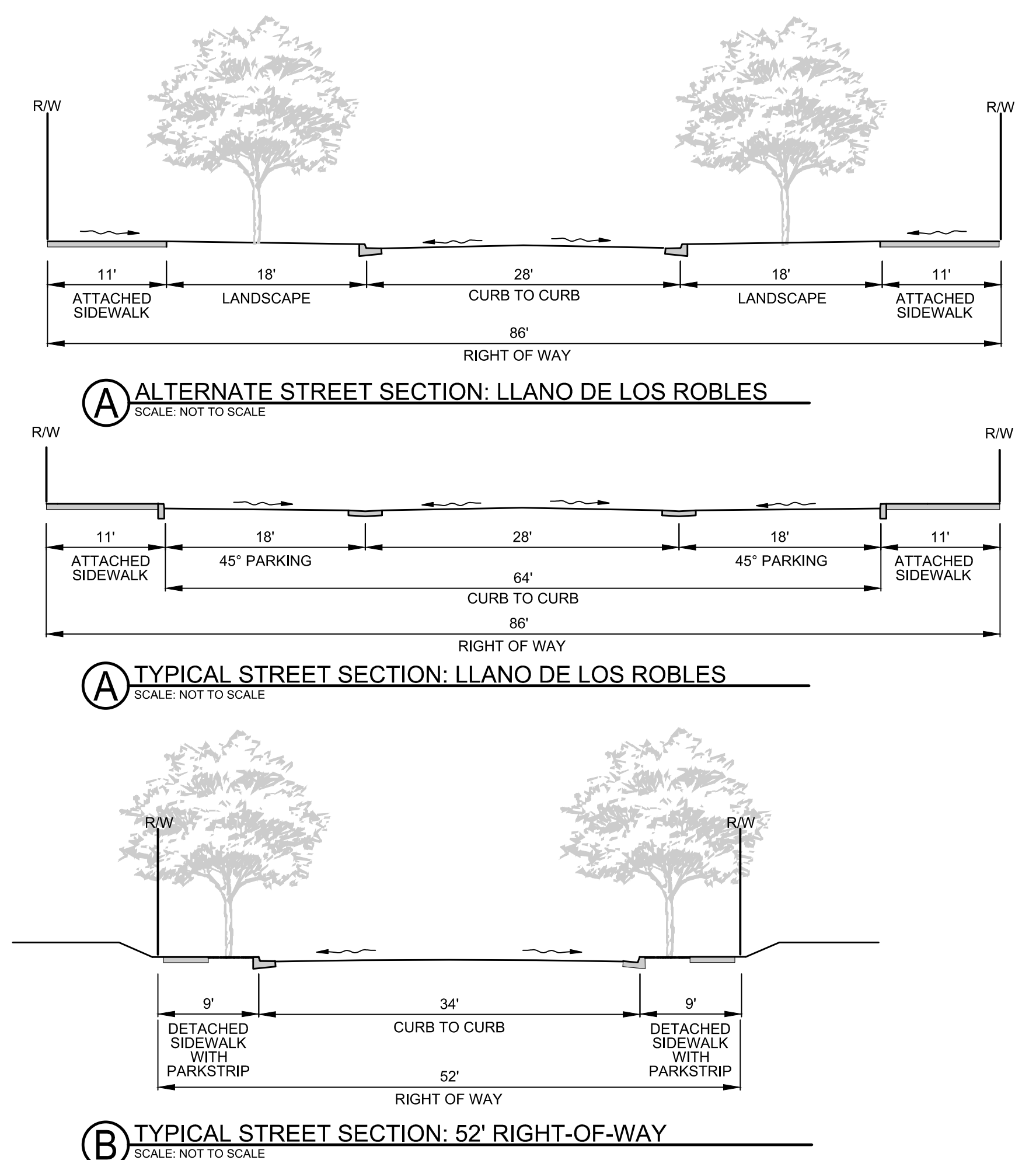
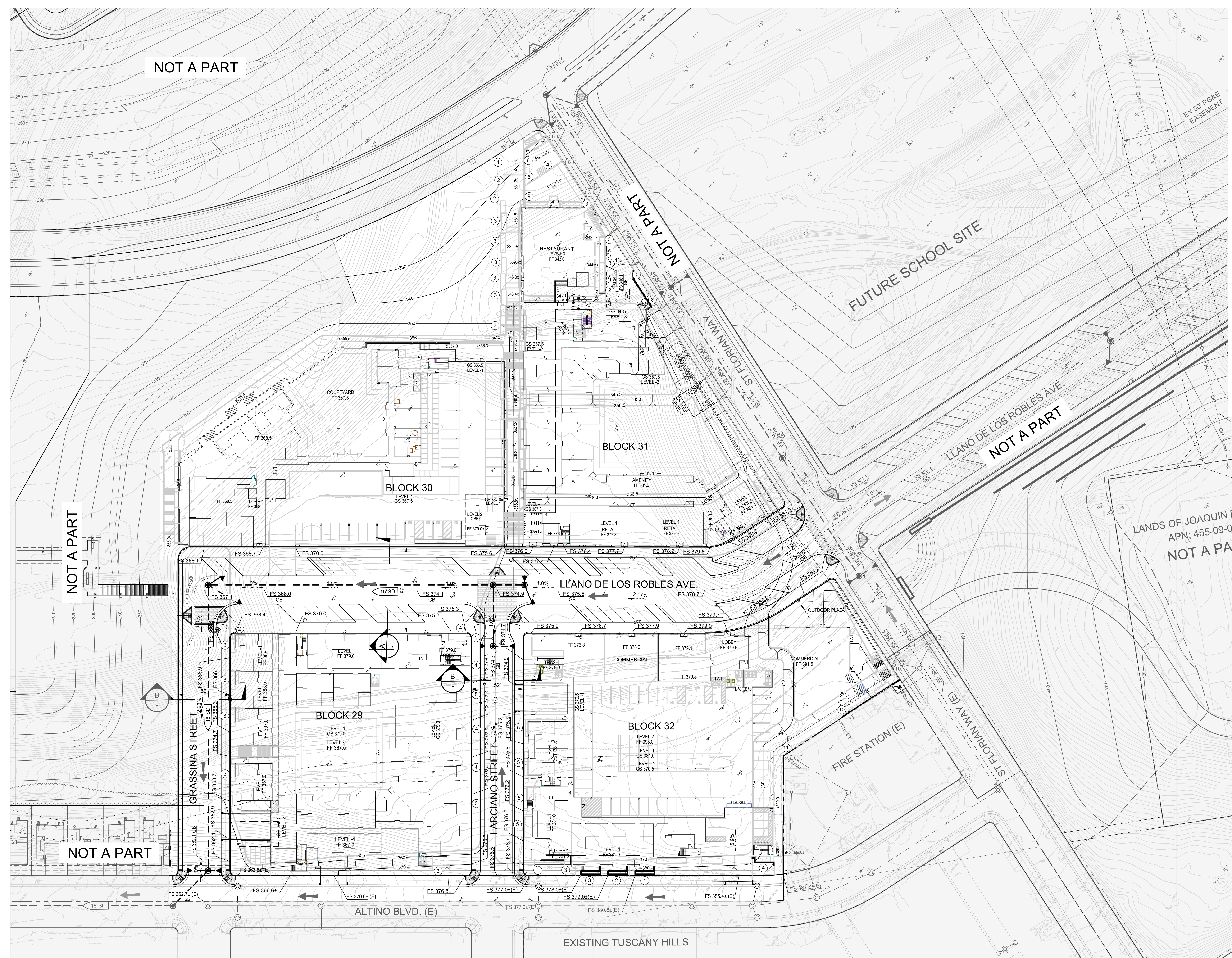
- Proper Personnel Protection Equipment (PPE) shall be worn while working in the mine. PPE should include as a minimum:
 - Steel-toe boots;
 - Hard hat;
 - Safety glasses;
 - Gloves;
 - Battery lamp light; and
 - Hearing protection when mechanical equipment is working underground.
- Due to the abandoned nature of the workings, the following additional safety equipment shall be provided to the crew working underground:
 - Gas monitor;
 - Fresh ventilation air;
 - Pry bars for loose ground; and
 - Communication radio.
- Injury by ground fall is the single largest hazard underground, especially because ground conditions have not been verified for some time. Before any area can be accessed a crew member trained in ground control measures, tunnel conditions will be determined and any loose ground will be removed before other members of the crew have access to the area. It is important that crew members do not wander off into unsuspected/secured areas.

**GENERAL DEVELOPMENT PLAN -
EXHIBIT C
PDC13-009
COMMUNICATIONS HILL**

8/13/2014	PER CITY COMMENTS	PROJECT NO:	3638.00
4/30/2014	PER CITY COMMENTS	CAD DWG FILE:	363860LU
9/12/2014	PER CITY COMMENTS FOR USE WITH ADEK	DESIGNED BY:	ML
11/06/2013	PER CITY COMMENTS	DRAWN BY:	ML
8/14/2013	PER CITY COMMENTS	CHECKED BY:	TA
NO	DATE	DATE:	MARCH 2, 2013
	DESCRIPTION	SCALE:	1" = 20'

LAND USE NOTES



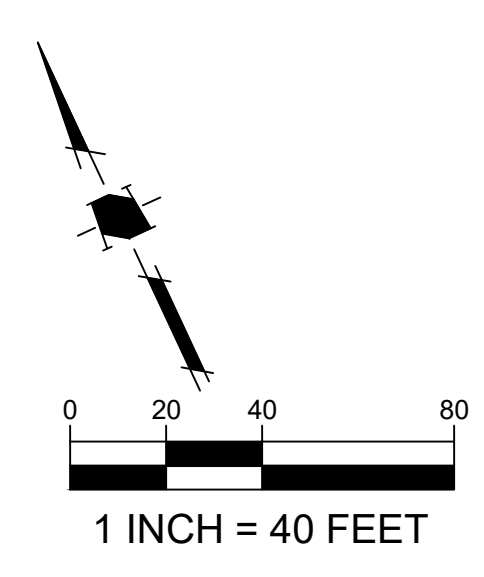


ABBREVIATIONS

EG	EXISTING GROUND
EX(E)	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FS	FINISHED SURFACE
GB	GRADE BREAK
GS	GARAGE SLAB
HP	HIGH POINT
LP	LOW POINT

LEGEND

(Symbol)	APPROXIMATE HEIGHT IN FEET OF RETAINING WALL
(Symbol)	ACCESSIBLE UNIT
(Symbol)	OVERLAND RELEASE PATH
(Symbol)	STORM DRAIN PIPE
(Symbol)	EXISTING STORM DRAIN PIPE
(Symbol)	STORM DRAIN MANHOLE
(Symbol)	STORM DRAIN MANHOLE (EXISTING)
(Symbol)	CURB INLET
(Symbol)	CURB INLET (EXISTING)
(Symbol)	CATCH BASIN
(Symbol)	CATCH BASIN (EXISTING)



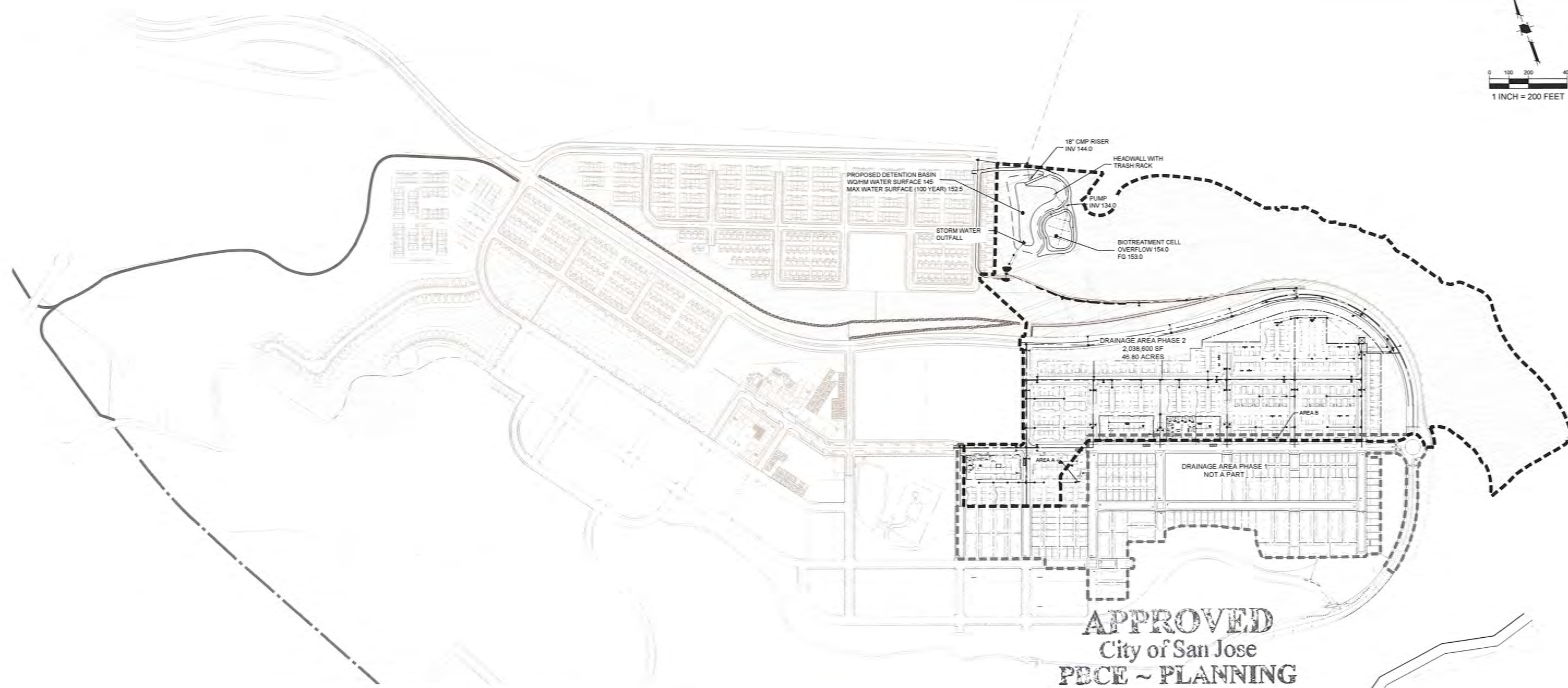
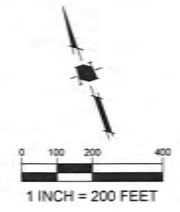
NOTE: SITE RETAINING WALLS ARE SHOWN ON THIS SHEET
NOTE: SEE APPROVED PDA 14-035 FOR THE AREA SHOWN AS SCREENED BACK.



PLANNED DEVELOPMENT PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	3636.70
CAD DWG FILE:	363670GP-DWG
DESIGNED BY:	DW, MM
DRAWN BY:	JZ
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	1" = 40'

GRADING, DRAINAGE AND WALLS LOCATION PLAN



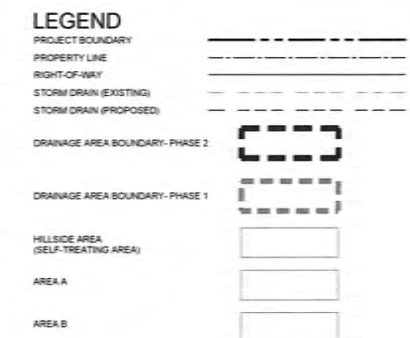
APPROVED
City of San Jose
PBCE ~ PLANNING
By: _____
Date: _____

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
Project Phase Number: (N/A, 1, 2, 3, etc.)		Ph. 2	
Total Site (acres)	46.80	Total Area of Site Disturbed (acres)	46.80
Impervious Surfaces	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed 1 (square feet)	
	Replace*	New*	
Roof Areas		493,300	
Parking, Driveways		41,900	
Sidewalks, Patios, Paths, etc.		157,200	
Streets (public)		305,700	
Streets (private)		102,800	
Total Impervious Surfaces:		1,180,100	
Pervious Surfaces	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed 1 (square feet)	
	Replace*	New*	
Landscape Areas			
Pervious Paving			
Other Pervious Surfaces (green roof, etc.) ²	2,038,600	93,900	
Total Pervious Surfaces:		93,900	
Total Proposed Replace + New Impervious Surfaces:		1,180,100	
Total Proposed Replace + New Pervious Surfaces:		93,900	

SURFACES NOT TRIBUTARY TO TREATMENT (AREA A)	
Impervious Surfaces	Ph. 3 (sf)
Building, Sidewalks, Patios, Paths, etc.	32,400
Streets (public)	7,200
Total Impervious Surfaces:	39,600
Pervious Surfaces	
Total Pervious Surfaces:	5,900

SURFACES NOT TRIBUTARY TO TREATMENT (AREA B)	
Impervious Surfaces	Ph. 3 (sf)
Building, Sidewalks, Patios, Paths, etc.	37,500
Streets (public)	4,500
Total Impervious Surfaces:	42,000
Pervious Surfaces	
Total Pervious Surfaces:	5,900

TCM SUMMARY TABLE						
TCM #	IDENTIFIER	DRAINAGE AREA (SF)	CUMULATIVE DRAINAGE AREA (SF)	REQUIRED TREATMENT (SF)	CUMULATIVE REQUIRED TREATMENT (SF)	PROVIDED TREATMENT (SF)
1	PHASE 2	2,038,600	2,038,600	39,200	39,200	244,000



Regulated Project: Any project that creates, new and/or replaces (individually or collectively) 10,000 square feet or more of impervious surface area. Additional data verifying the percent replacement of impervious surface area may be requested for any Regulated Project that appears to be subject to Provisions C.33.8.1(b) or C.33.8.1(d) (commonly known as "the 50% Rule").

Footnotes:

*Proposed Replace Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing impervious surface.

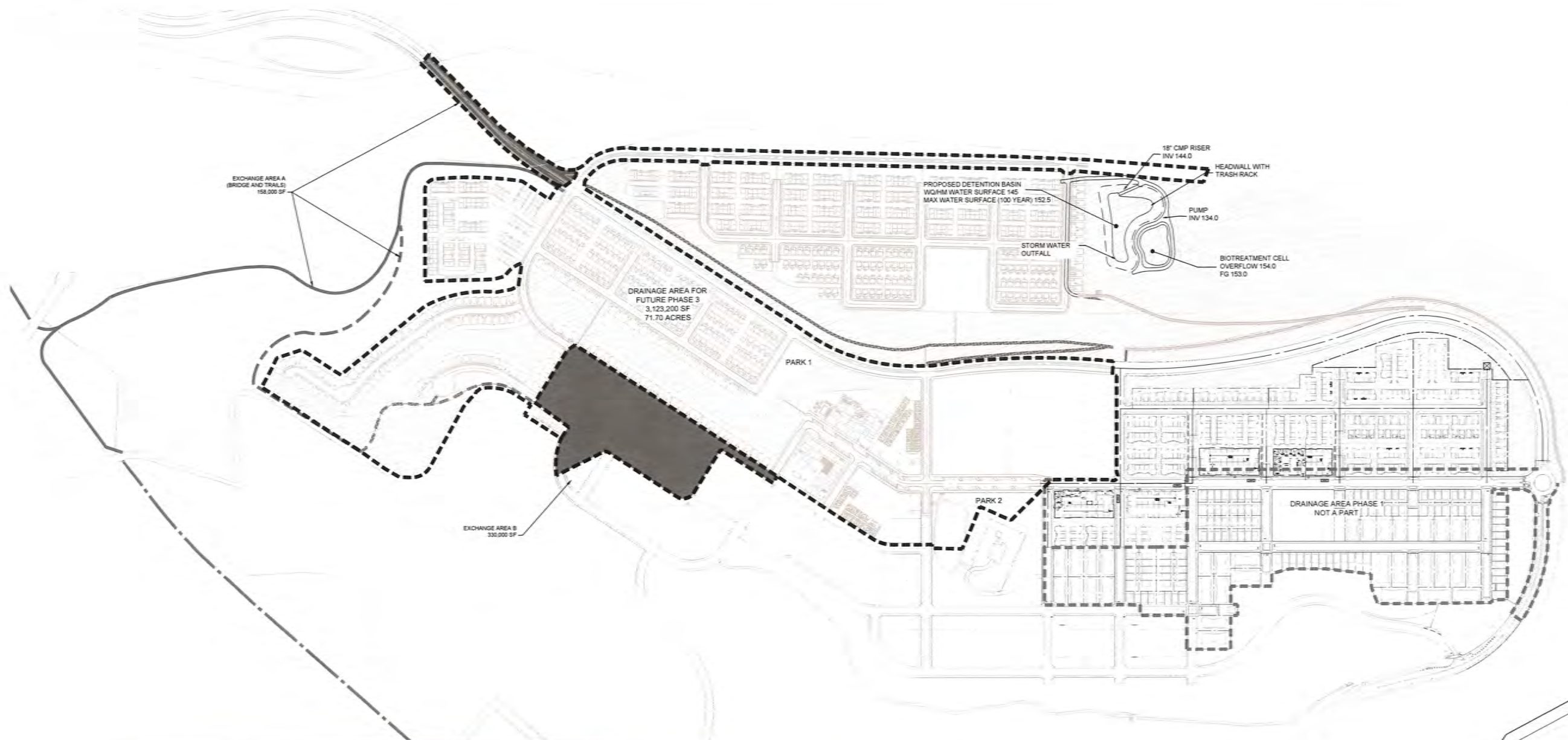
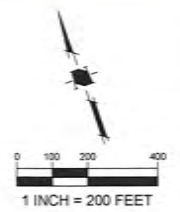
*Proposed New Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing pervious surface.



PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-03
COMMUNICATIONS HILL - PHASE 2

NO.	DATE	DESCRIPTION	SCALE
1		PROJECT NO. 3636 TO CAD DWG FILE 3636TSSA.DWG	
2		DESIGNED BY: DM	
3		DRAWN BY: JT	
4	10/16/15	PER CITY COMMENTS CHECKED BY: DM	
5	10/16/15	PER CITY COMMENTS DATE: OCTOBER 2, 2015	

STORMWATER CONTROL PLAN
PHASE 2



PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE				
	Project Phase Number: (NA, 1, 2, 3, etc.)		SUMMARY	
	Ph. 1	Ph. 2 & 3	Ph. 1	Ph. 2 & 3
Total Site (acres)	118.50	71.70	46.80	118.50
			Total Area of Site Disturbed (acres)	46.80
			Total Area of Site Disturbed (square feet)	1,621,200
			Total Impervious Surfaces (sq ft)	2,381,800
			Total Pervious Surfaces (sq ft)	2,381,800

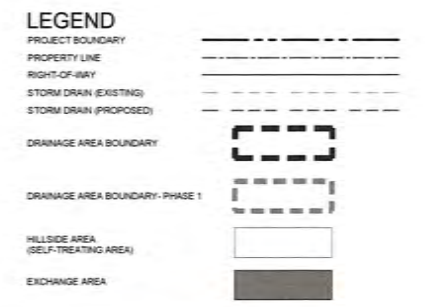
SURFACES NOT TRIBUTARY TO TREATMENT (EXCHANGE AREA A)	
Impervious Surfaces	Ph. 3 (sq ft)
Sidewalks, Patios, Paths, etc.	98,000
Streets (public)	60,000
Total Impervious Surfaces	158,000
Pervious Surfaces	0
Total Pervious Surfaces	0

TCM SUMMARY TABLE						
TCM #	IDENTIFIER	DRAINAGE AREA (SF)	CUMULATIVE DRAINAGE AREA (SF)	REQUIRED TREATMENT (SF)	CUMULATIVE REQUIRED TREATMENT (SF)	PROVIDED TREATMENT (SF)
1	PHASE 2	2,038,600	2,038,600	99,200	99,200	244,000
	PHASE 3	3,123,200	5,161,800	59,800	99,000	

SURFACES TRIBUTARY TO TREATMENT (EXISTING TUSCANY HILLS - EXCHANGE AREA B)	
Impervious Surfaces (25%)	Ph. 3 (sq ft)
Total Impervious Surfaces	247,500
Pervious Surfaces (25%)	0
Total Pervious Surfaces	82,500

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PBCE ~ PLANNING
By: _____

Date: _____



Regulated Project: Any project that creates new and/or replaces (individually or collectively) 10,000 square feet or more of impervious surface area. Additional data verifying the percent replacement of impervious surface area may be requested for any Regulated Project that appears to be subject to Provisions C.3.5.(1)(c) or C.3.8.(1)(g) (commonly known as "the 50% Rule").

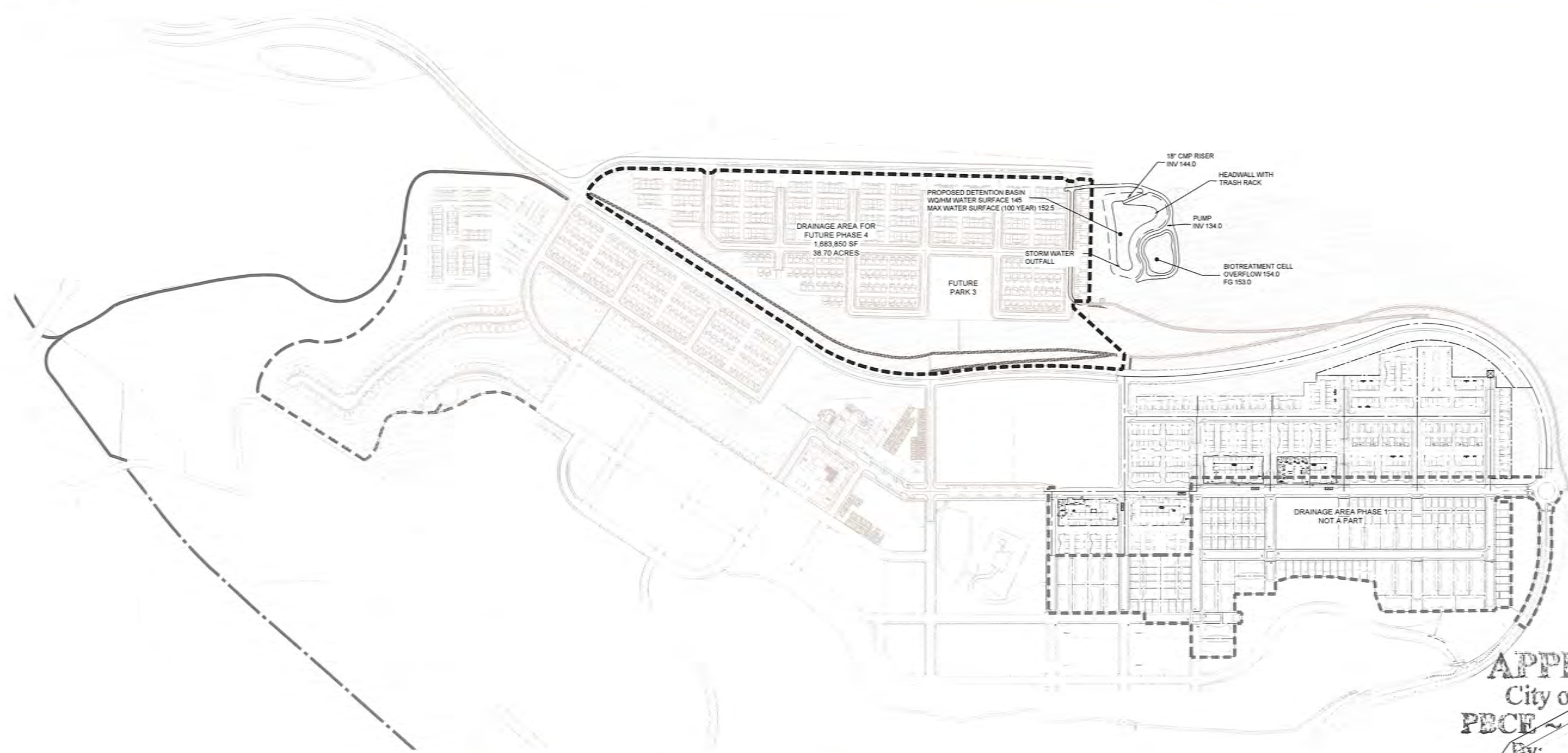
Footnotes:
 Proposed Replaced Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing impervious surface.
 Proposed New Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing pervious surface.
 Existing conditions data generated from Phase 2 calculation.



PLANNED DEVELOPMENT PERMIT AMENDMENT
PDA14-035-03
COMMUNICATIONS HILL - PHASE 2

NO.	DATE	DESCRIPTION	SCALE
1		PROJECT NO. 1038-70	
2		CAD/DWG FILE: 103870PH02.DWG	
3	02/18/15	PER CITY COMMENTS	DESIGNED BY: DM
4	02/18/15	PER CITY COMMENTS	DRAWN BY: JC
5	02/18/15	PER CITY COMMENTS	CHECKED BY: DM
6	02/18/15	PER CITY COMMENTS	DATE: OCTOBER 2, 2015
7			SCALE: 1" = 200'

STORMWATER CONTROL PLAN
PHASE 3



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City of San Jose
PBCE - PLANNING
By: _____

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE						
	Project Phase Number (NA, 1, 2, 3, etc.)			SUMMARY		
	Ph. 2	Ph. 3	Ph. 4	Ph. 2, 3 & 4		
Total Site (acres)	157.20	46.90	71.70	38.70	157.20	
	Total Area of Site Disturbed (acres)					
	Proposed Condition of Site Area Disturbed 1 (square feet)					
	Existing Condition of Site Area Disturbed (square feet)	Replace ^d	New ^a	New ^a	Total	
Impervious Surfaces						
Roof Areas	1,296,700			418,700	1,675,400	
Parking, Driveways	215,500			50,000	265,500	
Sidewalks, Patios, Paths, etc.	389,000			151,800	540,800	
Streets (public)	669,000			322,800	991,800	
Streets (private)	249,800			115,500	365,300	
Total Impervious Surfaces:	2,798,000			1,058,800	3,836,800	
Pervious Surfaces						
Landscaped Areas	2,381,800			625,250	3,007,050	
Pervious Parking						
Other Pervious Surfaces (green roof, etc.)	1,694,000					
Total Pervious Surfaces:	4,065,800			625,250	3,007,050	
Total Proposed Replaced + New Impervious Surfaces:				1,058,800		
Total Proposed Replaced + New Pervious Surfaces:				625,250		
Total Impervious Surface for Phase 2, 3 & 4					3,007,050	
Total Pervious Surface for Phase 2, 3 & 4					3,836,800	

Regulated Project: Any project that creates, new and/or replaces (individually or collectively) 10,000 square feet or more of impervious surface area. Additional data verifying the percent replacement of impervious surface area may be requested for any Regulated Project that appears to be subject to Provisions C 33.9(i)(1)(c) or C 33.9(i)(1)(d) (commonly known as "the 50% Rule").

^aProposed Replaced Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing impervious surface.

^bProposed New Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing pervious surface.

^cExisting conditions data generated from Phase 2 and 3 calculations.

TCM SUMMARY TABLE					
TCM #	IDENTIFIER	DRAINAGE AREA (SF)	CUMULATIVE DRAINAGE AREA (SF)	REQUIRED TREATMENT (SF)	PROVIDED TREATMENT (SF)
1	PHASE 2	2,036,600	2,036,600	39,200	39,200
	PHASE 3	3,123,200	5,161,800	59,800	99,000
	PHASE 4	1,683,850	6,845,650	33,900	132,900

- SITE DESIGN MEASURE:**
- PROTECT EXISTING TREES, VEGETATION, AND SOIL
 - PRESERVE OPEN SPACE AND NATURAL DRAINAGE PATTERNS.
 - DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPE AREAS.
 - PLANT TREES ADJACENT TO AND IN PARKING AREAS TO OTHER IMPERVIOUS AREAS.
- SOURCE CONTROL MEASURES:**
- USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
 - STORM DRAIN LABELING.
- BIOTREATMENT**
- BIOTRETENTION AREA.

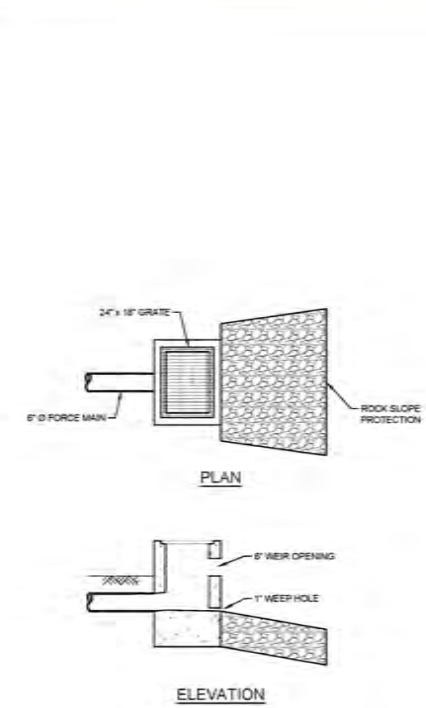
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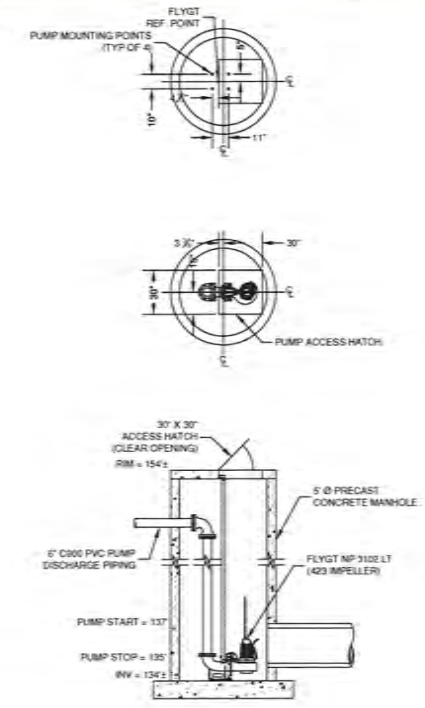
PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-03
COMMUNICATIONS HILL - PHASE 2

NO	DATE	DESCRIPTION	SCALE
1		PROJECT NO. 353970	
2		CAO DWG FILE: 308703A.DWG	
3		DESIGNED BY: DM	
4		DRAWN BY: JZ	
5	01/16/16	PER CITY COMMENTS	CHECKED BY: DM
6	12/01/15	PER CITY COMMENTS	DATE: OCTOBER 2, 2015
7			SCALE: 1" = 200'

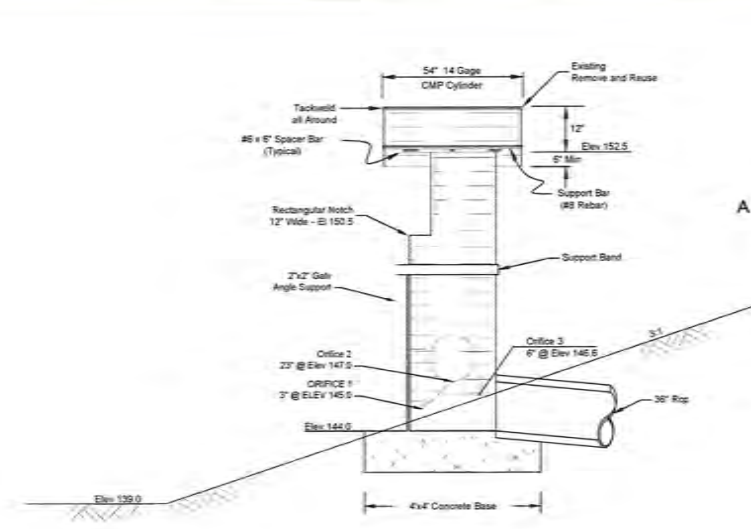
STORMWATER CONTROL PLAN
PHASE 4



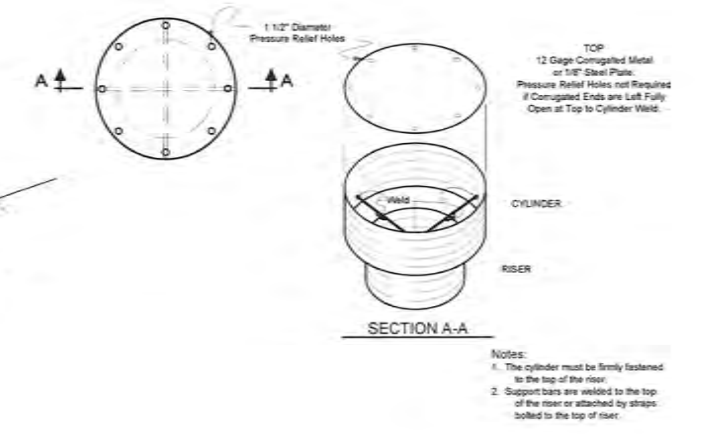
TYP OUTLET STRUCTURE
NOT TO SCALE



TYP PUMP (DETAIL PROVIDED BY SCHAAF & WHEELER)
NOT TO SCALE



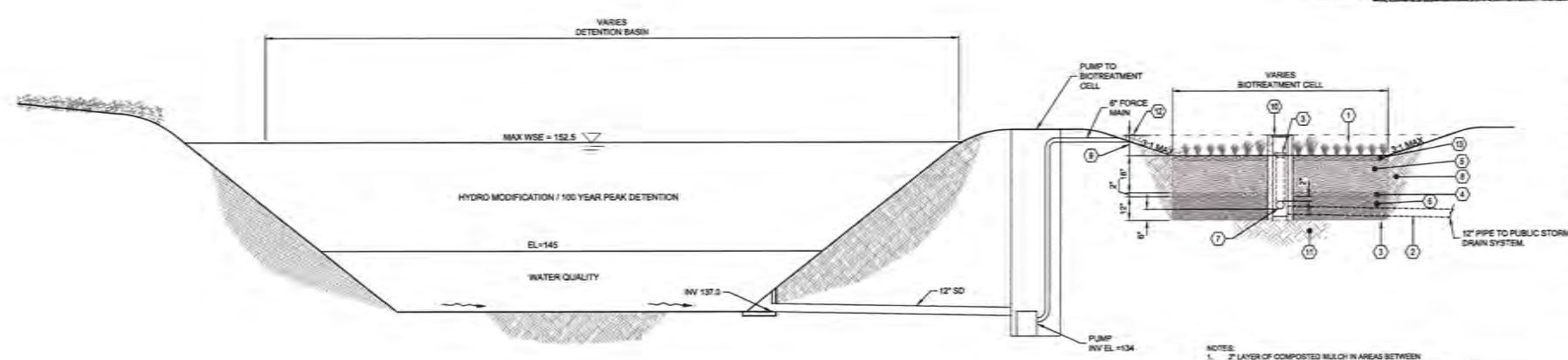
TYP 18" CMP RISER (DETAIL PROVIDED BY SCHAAF & WHEELER)
NOT TO SCALE



Notes:
1. The cylinder must be firmly fastened to the top of the riser.
2. Support bars are welded to the top of the riser or attached by straps bolted to the top of riser.

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By: _____

Date: _____



TYP BIORETENTION CROSS SECTION
NOT TO SCALE

1. SEE LANDSCAPE PLANS FOR PLANTING AND MULCH INFORMATION
2. CONNECTION TO STORM DRAIN
3. SLEAKOUT BEYOND WITH CAP AT FINISHED GRADE
4. 2" DEEP PERA GRAVEL
5. 8" SOIL WITH PERCOLATION RATE OF 1" TO 10" PER HOUR (10" DEPTH). SOIL TO CONFORM TO SOIL SPECIFICATIONS AS LISTED IN APPENDIX C OF THE CS STORMWATER HANDBOOK
6. 12" PERFORATED UNDERDRAIN WITH PERFORATIONS DOWN SLOPE SET IN PLACE UNDERNEATH AT BOTTOM OF CLASS II PERMEABLE ROCK IF IMPERMEABLE UNDERLIES USED
7. NATIVE GRADE OR ENGINEERED FILL
8. 12" PONDING DEPTH
9. 24"X24" OVERFLOW RISER WITH GRATED LID
10. NATIVE SOIL DO NOT COMPACT
11. PLACE 3/4" MAX DIA COBBLE 1/2" BELOW CURB OPENINGS FOR DISTANCE OF 2' EITHER SIDE OF CURB OPENINGS (TYP)
12. 2" DEEP PERA GRAVEL

- NOTES:
1. 2" LAYER OF COMPOSTED MULCH IN AREAS BETWEEN PLANTING WILL BE INSTALLED. ROCK AND COBBLE OR LARGE BARK MULCHES THAT RESIST FLOATING MAY ALSO BE USED. "MICRO-BARK" AND "GORILLA HAIR" ARE NOT RECOMMENDED.
 2. COBBLES OR ROCKS WILL BE INSTALLED TO DISSIPATE FLOW ENERGY WHERE RUNOFF ENTERS THE TREATMENT MEASURE.
 3. PROJECT WILL NOT LOCATE OVERFLOW STRUCTURES DIRECTLY IN LINE WITH OR NEXT TO CURB OPENINGS.

xylem
NP 3102 LT 3- Adaptive 423
Technical Specification

Notes: Please refer to the manual for the correct configuration.

General: Performance and operating limits are shown in the graph. The pump is designed for use in a clean water environment. The pump is not intended for use in a dirty or corrosive environment. The pump is not intended for use in a high temperature environment.

Impeller: Material: Cast Iron
Number of Impellers: 2
Impeller Diameter: 4.25 in
Impeller Width: 1.5 in
Impeller Thickness: 0.5 in
Impeller Weight: 1.5 lb

Motor: Motor Type: 1/2 HP
Motor Voltage: 115V AC
Motor Frequency: 60 Hz
Motor Efficiency: 75%
Motor Weight: 1.5 lb

Configuration: Motor: 1/2 HP
Impeller: 2
Impeller Diameter: 4.25 in
Impeller Width: 1.5 in
Impeller Thickness: 0.5 in
Impeller Weight: 1.5 lb

PROPOSED PUMP SPECIFICATIONS

PROJECT NO.	3036 TO
CHG/DWG FILE	3036TO14035
DESIGNED BY	GM
DRAWN BY	JZ
CHECKED BY	DM
DATE	OCTOBER 2, 2015
SCALE	1" = 20'

BLOCK 29 MATERIAL LIST

- 1 STONE
- 2 ACCENT TILE (ORANGE)
- 3A WOOD SIDING (LIGHT BROWN)
- 3B WOOD SIDING (DARK GRAY)
- 4 STUCCO (ACCENT: PALE GRAY)
- 5 STUCCO (ACCENT: GRAY)
- 6 STUCCO (BODY: LIGHT BLUE)
- 7 STUCCO (BODY: WHITE)
- 8 STUCCO (BODY: BLUE GRAY)
- 9 METAL RAILING
- 10 VINYL WINDOWS
- 11 TILE ROOF
- 13 ALUMINUM STOREFRONT / WINDOWS



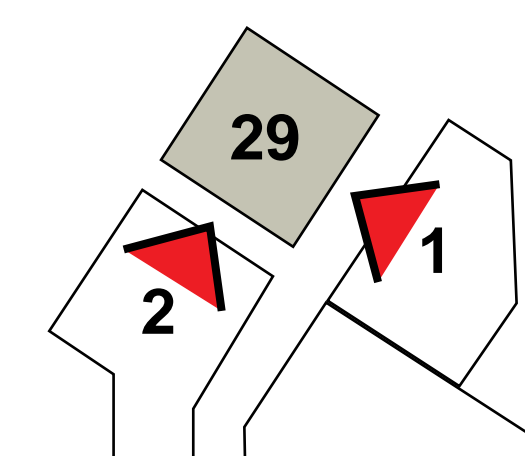
1. MAIN STREET ELEVATION

* Fire Alarm Control Panel (FACP) Room located in Main Lobby at Level 1 Entry



2. LARCIANO STREET ELEVATION

* Fire Alarm Control Panel (FACP) Room located in Main Lobby at Level 1 Entry



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

BLOCK 29 MATERIAL LIST

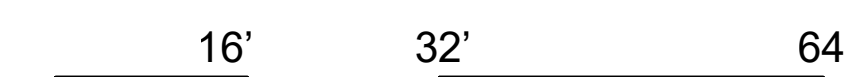
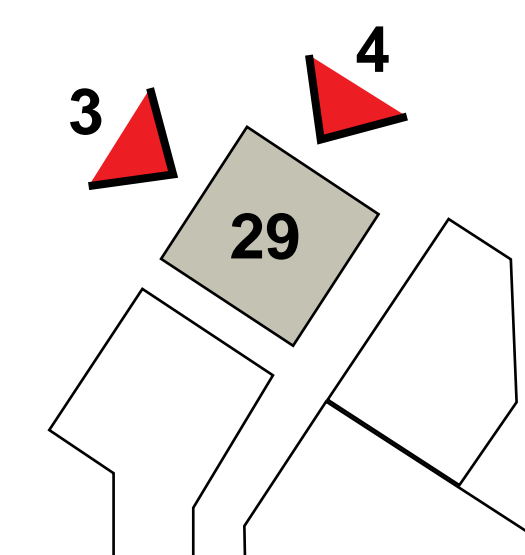
- 1 STONE
- 2 ACCENT TILE (ORANGE)
- 3A WOOD SIDING (LIGHT BROWN)
- 3B WOOD SIDING (DARK GRAY)
- 4 STUCCO (ACCENT: PALE GRAY)
- 5 STUCCO (ACCENT: GRAY)
- 6 STUCCO (BODY: LIGHT BLUE)
- 7 STUCCO (BODY: WHITE)
- 8 STUCCO (BODY: BLUE GRAY)
- 9 METAL RAILING
- 10 VINYL WINDOWS
- 11 TILE ROOF
- 13 ALUMINUM STOREFRONT / WINDOWS



3. ALTINO BLVD ELEVATION



4. GRASSINA STREET ELEVATION



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	
NO:	DATE DESCRIPTION
01/24/20	PER CITY COMMENTS
08/09/19	PER CITY COMMENTS

BLOCK 30 MATERIAL LIST

- 1 STONE
- 2 ACCENT TILE (GOLD)
- 3A WOOD SIDING (GRAY)
- 3B WOOD SIDING (CREAM)
- 4A STUCCO (ACCENT 1: PALE GRAY)
- 4B STUCCO (ACCENT: GRAY)
- 5A STUCCO (ACCENT: WARM BROWN)
- 5B STUCCO (ACCENT: DARK BROWN)
- 6 STUCCO (BODY: YELLOW)
- 7 STUCCO (BODY: WHITE)
- 8 STUCCO (BODY: GRAY)
- 9 WOOD RAILING
- 10 VINYL WINDOWS
- 11 TILE ROOF
- 12 LANDSCAPE WALL WITH VINES "GREEN SCREEN"
- 13 ALUMINUM STOREFRONT / WINDOWS

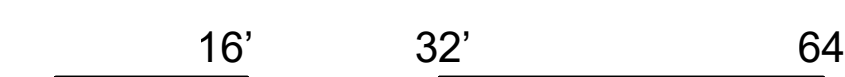
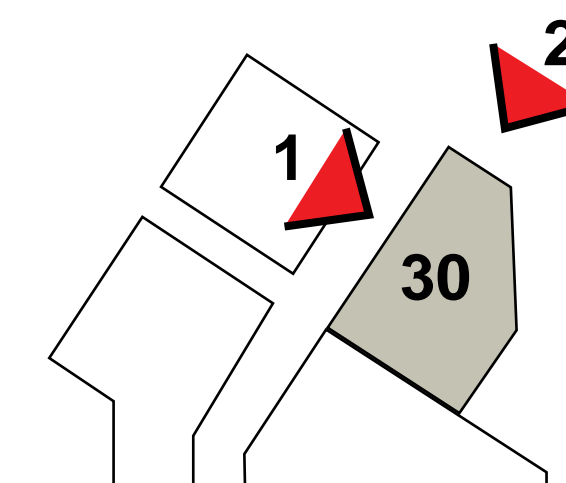


1. MAIN STREET ELEVATION

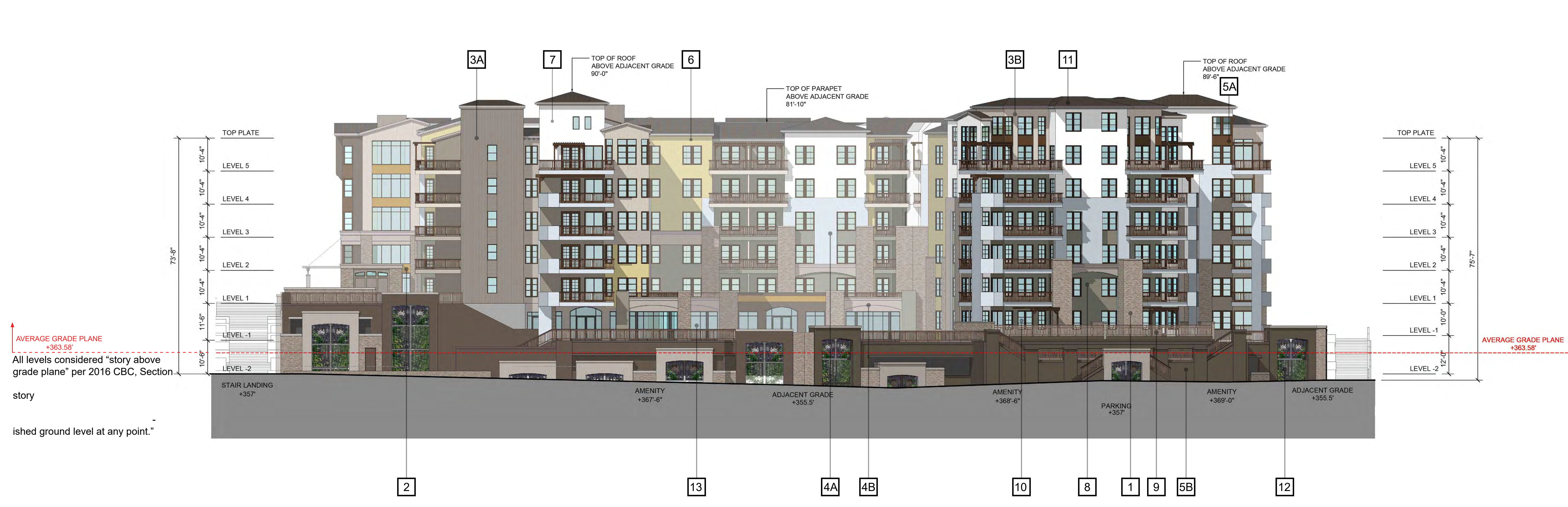
* Fire Alarm Control Panel (FACP) Room located in Main Lobby at Level 1 Entry



2. WEST HILLSIDE ELEVATION



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	



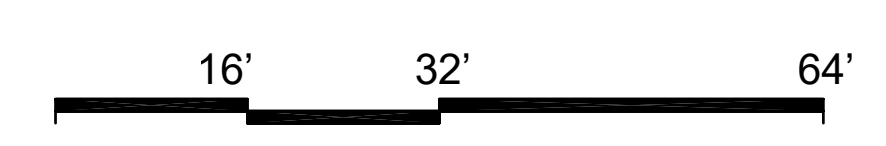
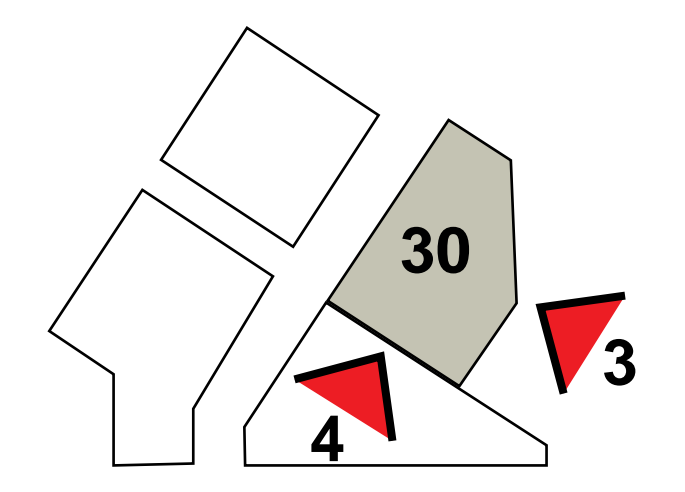
3. NORTH HILLSIDE ELEVATION



4. EAST STAIRWAY ELEVATION

* Fire Alarm Control Panel (FACP) Room located in Main Lobby at Level 1 Entry

- BLOCK 30 MATERIAL LIST**
- 1 STONE
 - 2 ACCENT TILE (GOLD)
 - 3A WOOD SIDING (GRAY)
 - 3B WOOD SIDING (CREAM)
 - 4A STUCCO (ACCENT 1: PALE GRAY)
 - 4B STUCCO (ACCENT: GRAY)
 - 5A STUCCO (ACCENT: WARM BROWN)
 - 5B STUCCO (ACCENT: DARK BROWN)
 - 6 STUCCO (BODY: YELLOW)
 - 7 STUCCO (BODY: WHITE)
 - 8 STUCCO (BODY: GRAY)
 - 9 WOOD RAILING
 - 10 VINYL WINDOWS
 - 11 TILE ROOF
 - 12 LANDSCAPE WALL WITH VINES "GREEN SCREEN"
 - 13 ALUMINUM STOREFRONT / WINDOWS



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

**BLOCK 30
ELEVATIONS**

BLOCK 31 MATERIAL LIST

- 1 ANTIQUE BRICK
- 2 ACCENT TILE (BLUE)
- 3A WOOD SIDING (BROWN)
- 3B WOOD SIDING (LIGHT BROWN)
- 4 STUCCO (ACCENT: LIGHT BROWN)
- 5 STUCCO (ACCENT: DARK BROWN)
- 6 STUCCO (BODY: CREAM)
- 7 STUCCO (BODY: DARK GREEN)
- 8 STUCCO (BODY: LIGHT GREEN)
- 9 METAL RAILING
- 10 VINYL WINDOWS
- 11 TILE ROOF
- 12 DECORATIVE METAL PANEL "TREE"
- 13 LANDSCAPE WALL WITH VINES "GREEN SCREEN"
- 14 ALUMINUM STOREFRONT / WINDOWS



1. MAIN STREET ELEVATION

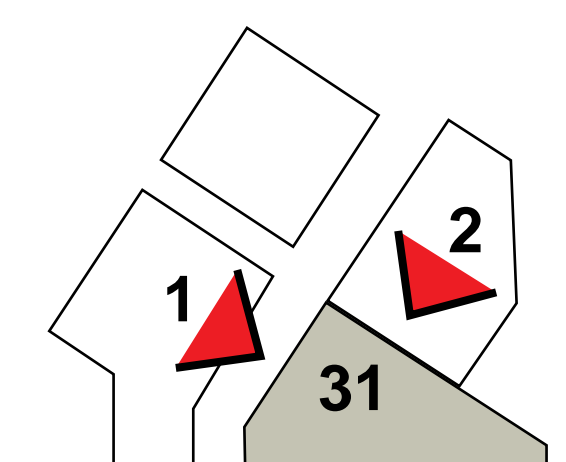
* Fire Alarm Control Panel (FACP) Room located in Main Lobby at Level 1 Entry

next above is: more than 12 feet (3658 any point.)



2. WEST STAIRWAY ELEVATION

ground level at any point."



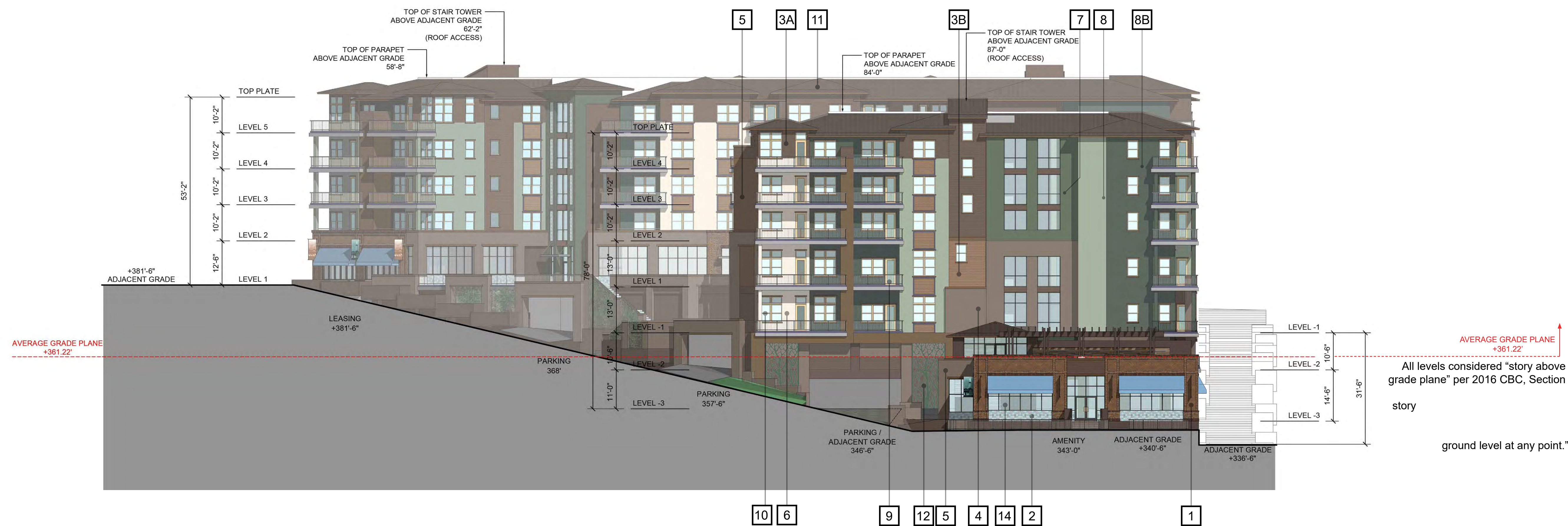
**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

**BLOCK 31
ELEVATIONS**

BLOCK 31 MATERIAL LIST

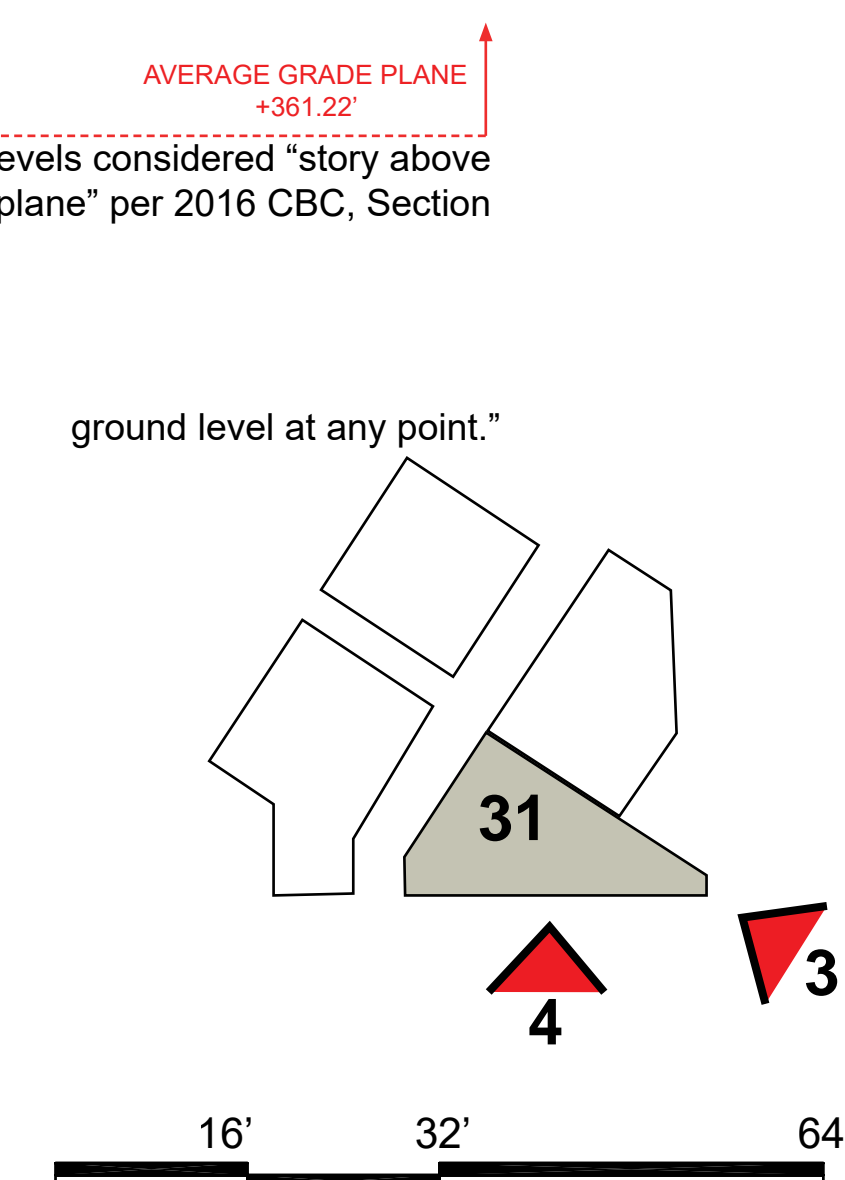
- 1 ANTIQUE BRICK
- 2 ACCENT TILE (BLUE)
- 3A WOOD SIDING (BROWN)
- 3B WOOD SIDING (LIGHT BROWN)
- 4 STUCCO (ACCENT: LIGHT BROWN)
- 5 STUCCO (ACCENT: DARK BROWN)
- 6 STUCCO (BODY: CREAM)
- 7 STUCCO (BODY: DARK GREEN)
- 8 STUCCO (BODY: LIGHT GREEN)
- 8B STUCCO (BODY: GRAY GREEN)
- 9 METAL RAILING
- 10 VINYL WINDOWS
- 11 TILE ROOF
- 12 DECORATIVE METAL PANEL "TREE"
- 13 LANDSCAPE WALL WITH VINES "GREEN SCREEN"
- 14 ALUMINUM STOREFRONT / WINDOWS



3. COMMUNICATIONS HILL BLVD ELEVATION



4. SAINT FLORIAN WAY ELEVATION





1. MAIN STREET ELEVATION

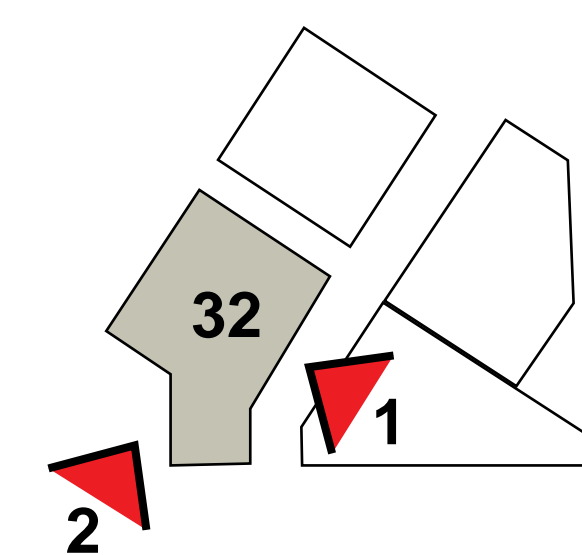
* Fire Alarm Control Panel (FACP) Room located in Main Lobby at Level 1 Entry



2. SAINT FLORIAN WAY ELEVATION

BLOCK 32 MATERIAL LIST

- 1 ANTIQUE BRICK
- 2 ACCENT TILE (BROWN)
- 3A WOOD SIDING (BROWN)
- 3B WOOD SIDING (GRAY)
- 4 STUCCO (ACCENT: DARK BROWN)
- 5 STUCCO (ACCENT: DARK GREEN)
- 6 STUCCO (BODY: CREAM)
- 7 STUCCO (BODY: BLUE GRAY)
- 8 STUCCO (BODY: DARK GRAY)
- 9 WOOD RAILING
- 10 VINYL WINDOWS
- 11 TILE ROOF
- 12 ALUMINUM STOREFRONT / WINDOWS
- 13 LANDSCAPE WALL WITH VINES "GREEN SCREEN"



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

BLOCK 32 MATERIAL LIST

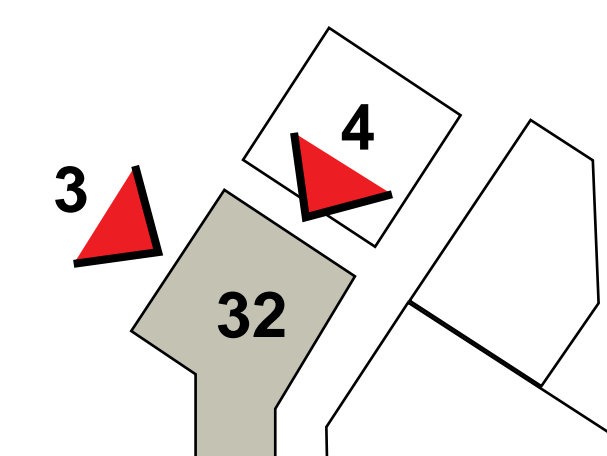
- 1 ANTIQUE BRICK
- 2 ACCENT TILE (BROWN)
- 3A WOOD SIDING (BROWN)
- 3B WOOD SIDING (GRAY)
- 4 STUCCO (ACCENT: DARK BROWN)
- 5 STUCCO (ACCENT: DARK GREEN)
- 6 STUCCO (BODY: CREAM)
- 7 STUCCO (BODY: BLUE GRAY)
- 8 STUCCO (BODY: DARK GRAY)
- 9 WOOD RAILING
- 10 VINYL WINDOWS
- 11 TILE ROOF
- 12 ALUMINUM STOREFRONT / WINDOWS
- 13 LANDSCAPE WALL WITH VINES "GREEN SCREEN"



3. ALTINO BLVD ELEVATION



4. LARCIANO STREET ELEVATION



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	
NO	DATE DESCRIPTION
01/24/20	PER CITY COMMENTS
08/09/19	PER CITY COMMENTS



△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:



△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:



NO	DATE	DESCRIPTION	PROJECT NO:	CAD DWG FILE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	SCALE:
△									
△									
△	01/24/20	PER CITY COMMENTS							
△	08/09/19	PER CITY COMMENTS						APRIL 10, 2017	



VIEW 1



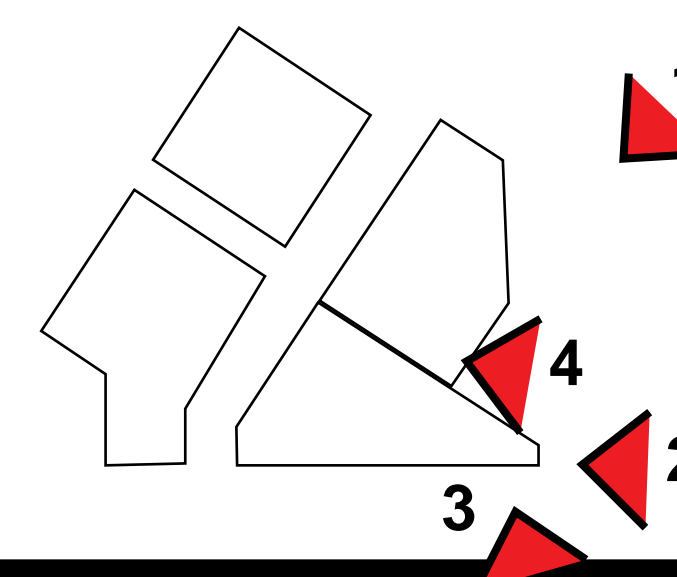
VIEW 2



VIEW 3



VIEW 4



△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:



NO.	DATE	DESCRIPTION	PROJECT NO:
△			CAD DWG FILE:
△			DESIGNED BY:
△			DRAWN BY:
△	01/24/20	PER CITY COMMENTS	CHECKED BY:
△	08/09/19	PER CITY COMMENTS	DATE: APRIL 10, 2017
△			SCALE:



NO.	DATE	DESCRIPTION	PROJECT NO:	CAD DWG FILE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	SCALE:
								APRIL 10, 2017	
01/24/20		PER CITY COMMENTS							
08/09/19		PER CITY COMMENTS							



VIEW 1 BLOCK 29



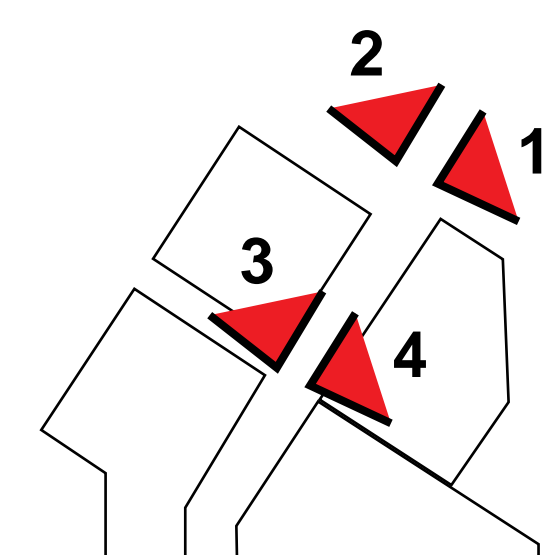
VIEW 2 BLOCK 30



VIEW 3 BLOCK 31



VIEW 4 BLOCK 32



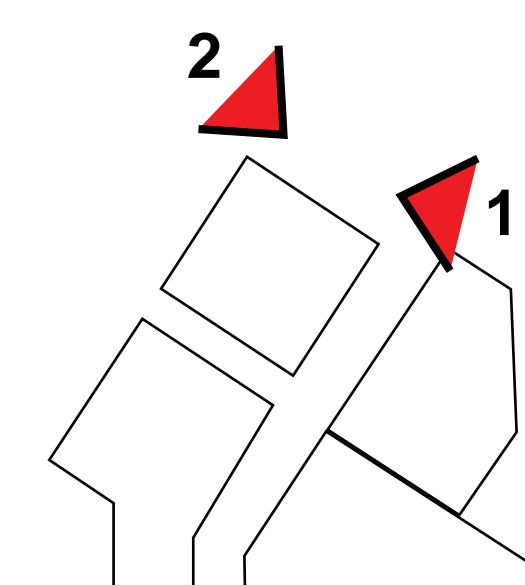
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△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:



VIEW 1



VIEW 2



NO.	DATE	DESCRIPTION	PROJECT NO:	CAD DWG FILE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	SCALE:
△									
△									
△	01/24/20	PER CITY COMMENTS							
△	08/09/19	PER CITY COMMENTS						APRIL 10, 2017	



VIEW 1



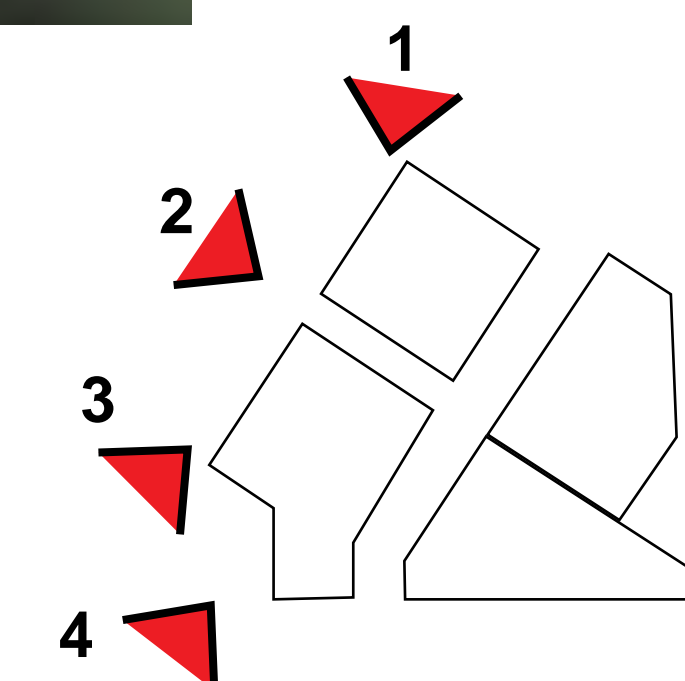
VIEW 2



VIEW 3



VIEW 4



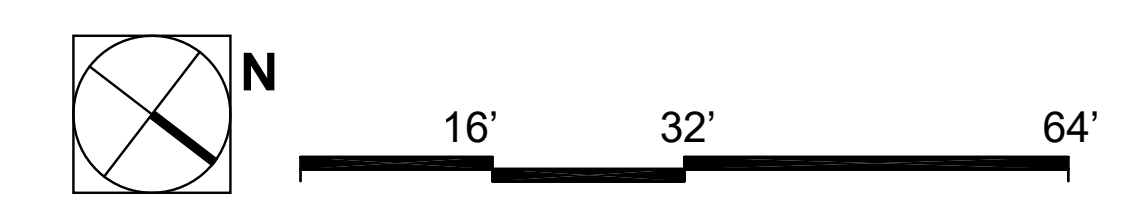
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△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:



- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR
- PARKING
- PARKING CIRCULATION
- RESIDENTIAL AMENITY

BLOCK 29 DEVELOPMENT SUMMARY

• 122 Units	18 - 1 BR (1.25 sp/unit)	22.5 sp req'd
	75 - 2 BR (1.7 sp/unit)	127.5 sp req'd
	29 - 3 BR (2 sp/ unit)	58 sp req'd
		208 spaces required
		208 garage spaces provided (incl. 21 EVSE)
		1 bicycle sp / 4 units req'd
		30.5 bicycle spaces required
		122 storage lockers provided (1:1) (provides bike parking)
		up to 36 on-street spaces provided
• TOTAL GROSS FLOOR AREA	269,595 sq ft (including garage)	
	178,977 sq ft (not including garage)	
• TOTAL NET FLOOR AREA	136,376 sq ft (including amenity)	
	135,007 sq ft (units only)	



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
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CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

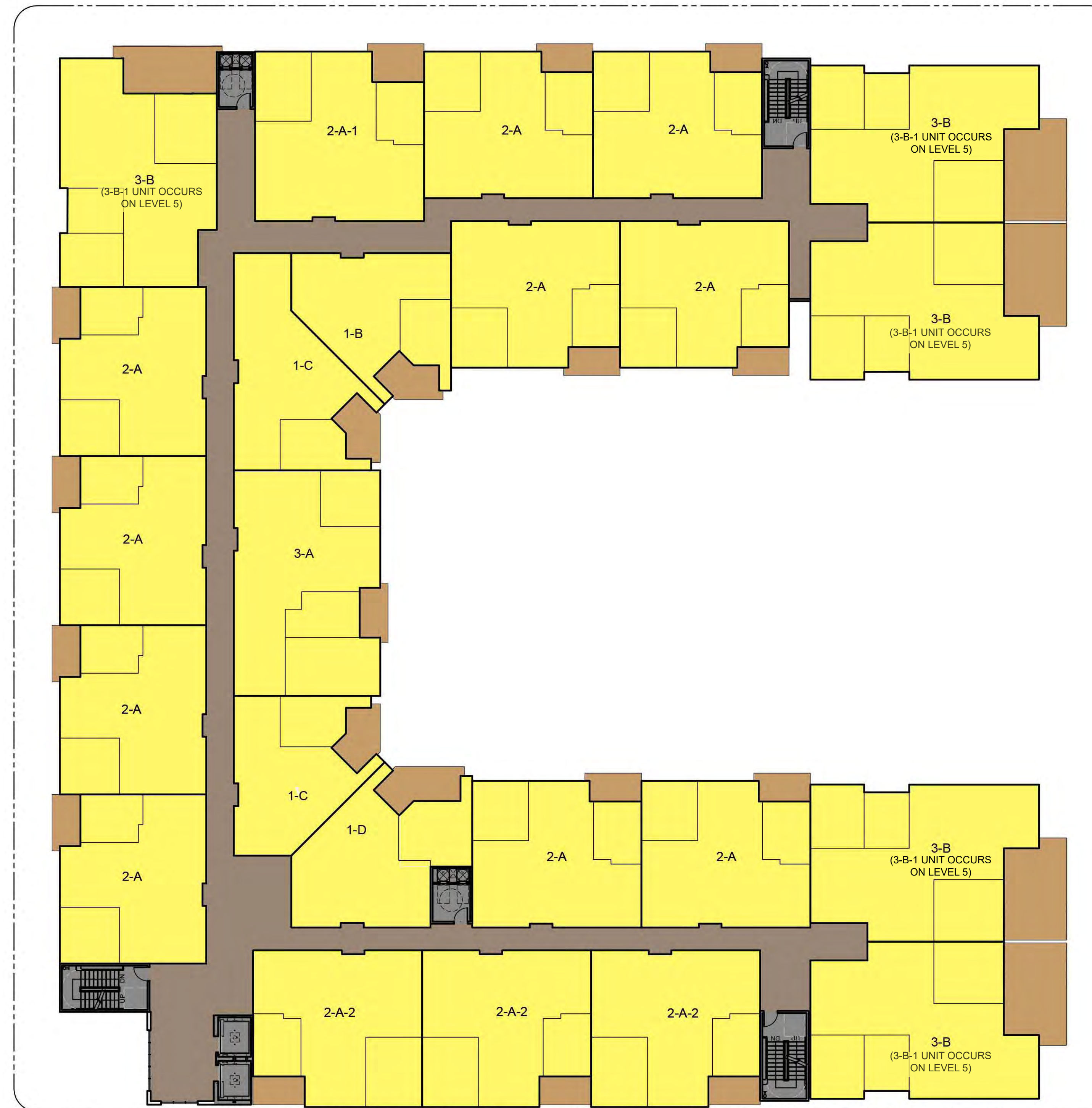
ALTINO BLVD

LARCIANO STREET

GRASSINA STREET

"MAIN STREET"

- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR



PROJECT NO:		
CAD DWG FILE:		
DESIGNED BY:		
DRAWN BY:		
CHECKED BY:		
DATE:	APRIL 10, 2017	
SCALE:		
NO	DATE	DESCRIPTION

ALTINO BLVD

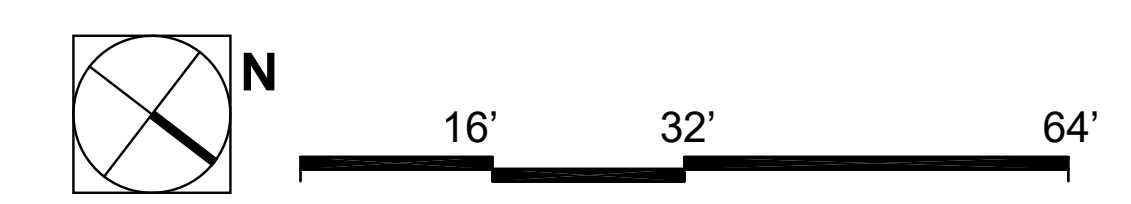
- RESIDENTIAL UNITS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR



LARCIANO STREET

GRASSINA STREET

"MAIN STREET"



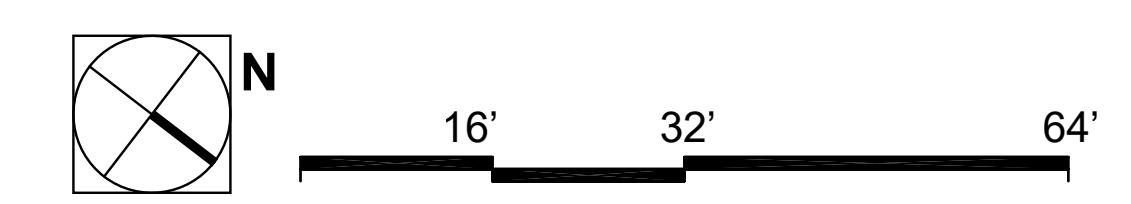
**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

**BLOCK 29
MEZZANINE / ROOF**



- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR
- PARKING
- PARKING CIRCULATION

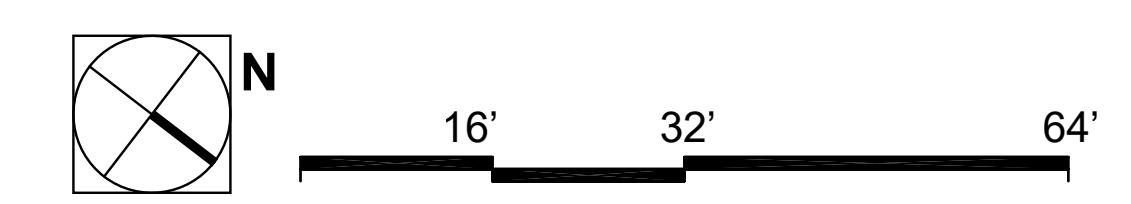


**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

**BLOCK 29
LEVEL -1**

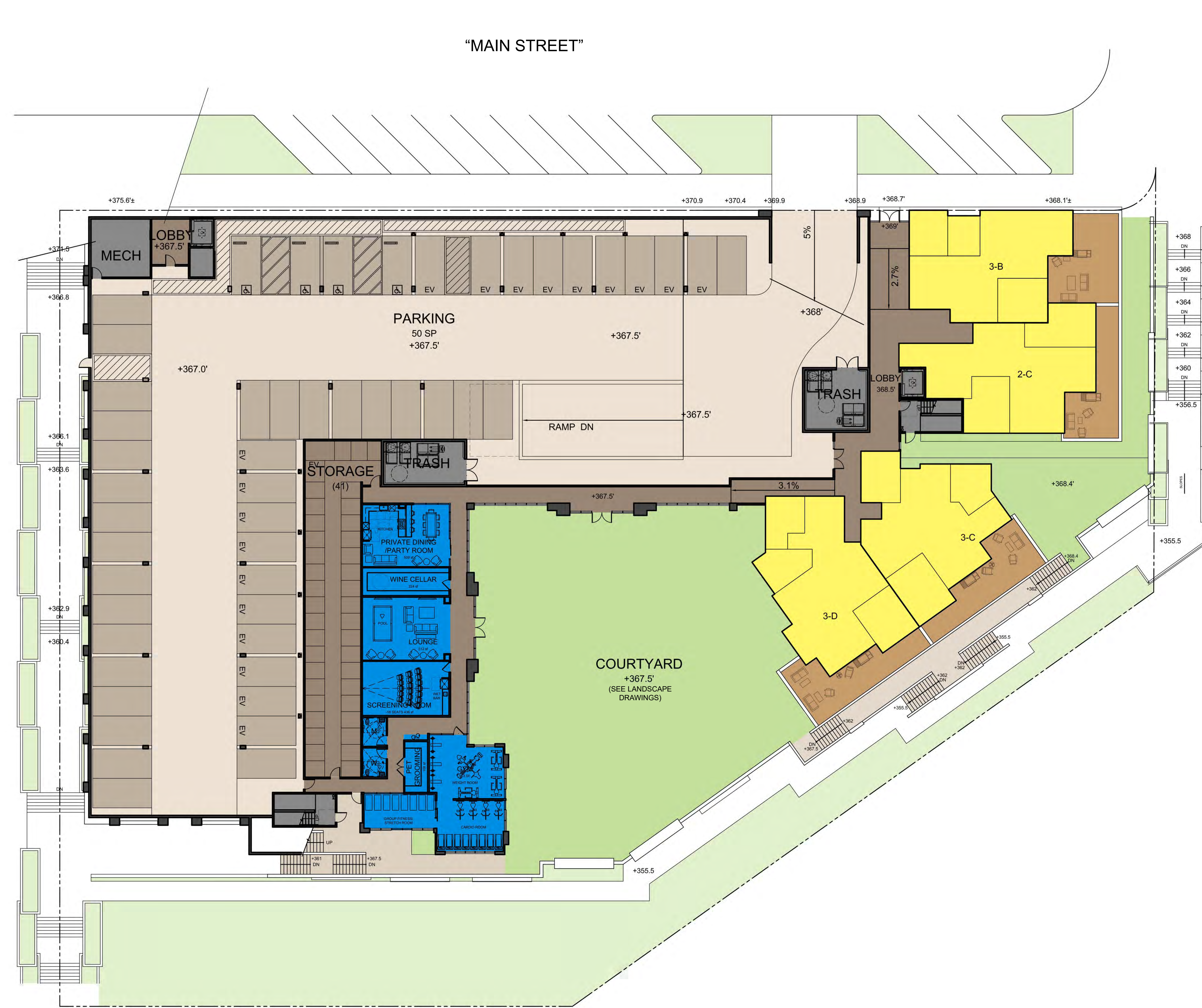
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR
- PARKING
- PARKING CIRCULATION



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
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△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

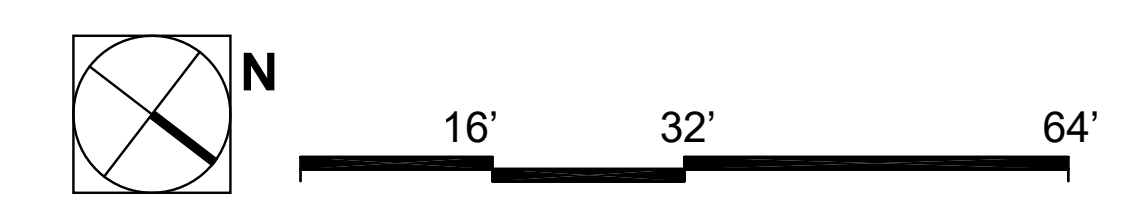
**BLOCK 29
LEVEL -2**



- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR
- PARKING
- PARKING CIRCULATION
- RESIDENTIAL AMENITY

BLOCK 30 DEVELOPMENT SUMMARY

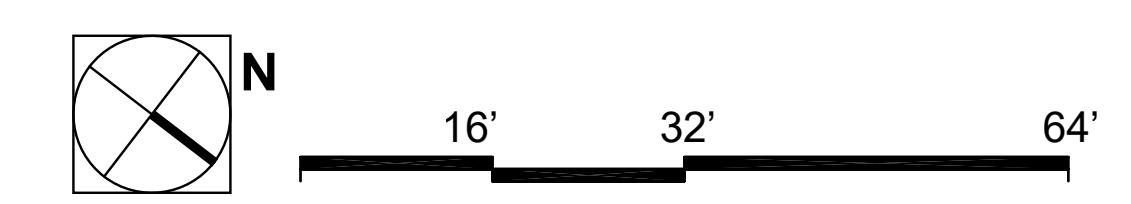
- 109 Units
 - 20 - 1 BR (1.25 sp/unit) 25 sp req'd
 - 66 - 2 BR (1.7 sp/unit) 112.2 sp req'd
 - 23 - 3 BR (2 sp/unit) 46 sp req'd
 - 183.2 spaces required
 - 184 garage spaces provided (incl. 19 EVSE)
 - up to 13 on-street spaces provided
 - 1 bicycle sp / 4 units req'd
 - 27.3 bicycle spaces required
 - 122 storage lockers provided (1:1) (provides bike parking)
- TOTAL GROSS FLOOR AREA
 - 247,130 sq ft (including garage)
 - 165,554 sq ft (not including garage)
- TOTAL NET LEASABLE FLOOR AREA
 - 124,988 sq ft (including amenity)
 - 122,246 sq ft (units only)



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	



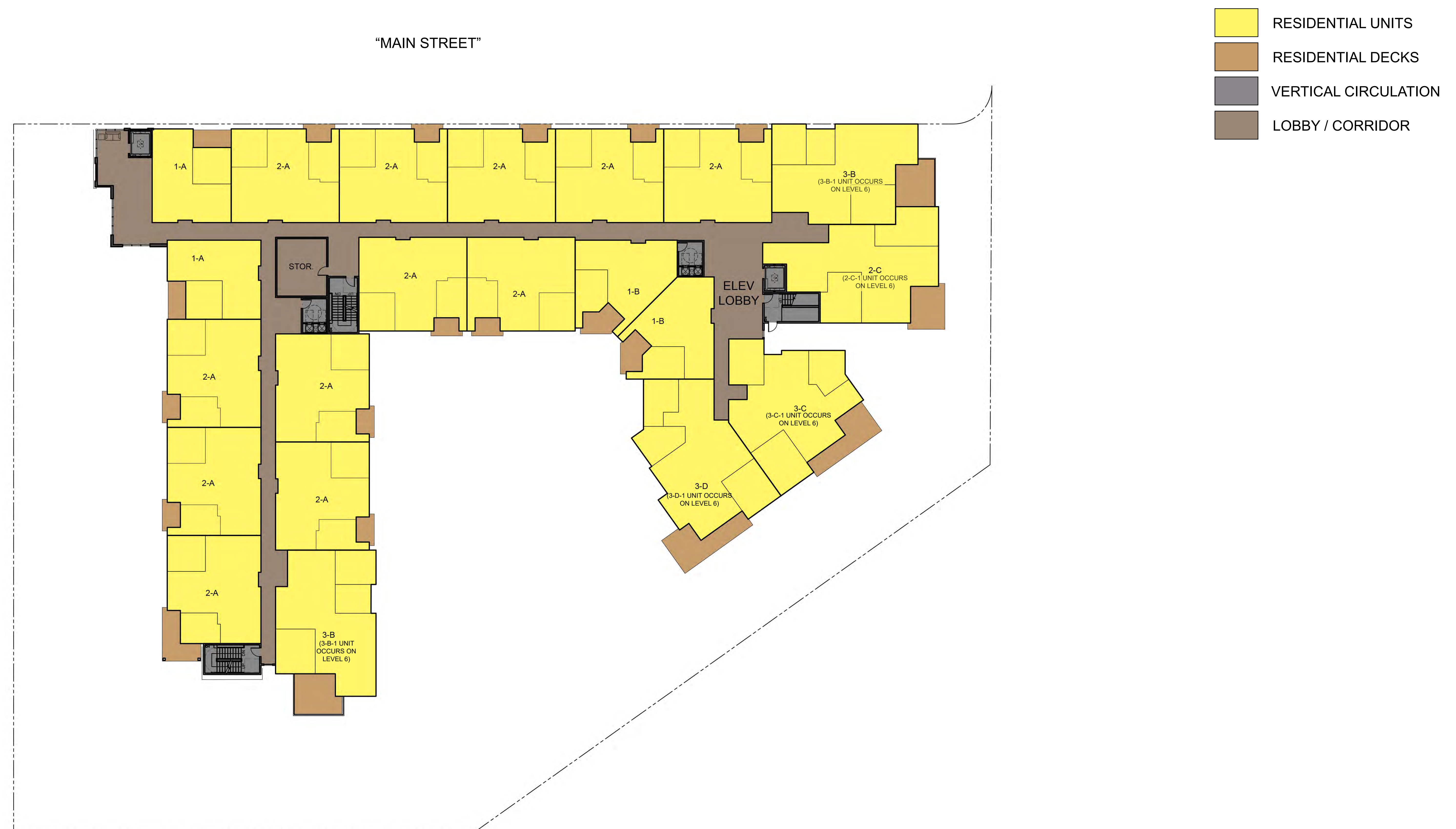
- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR



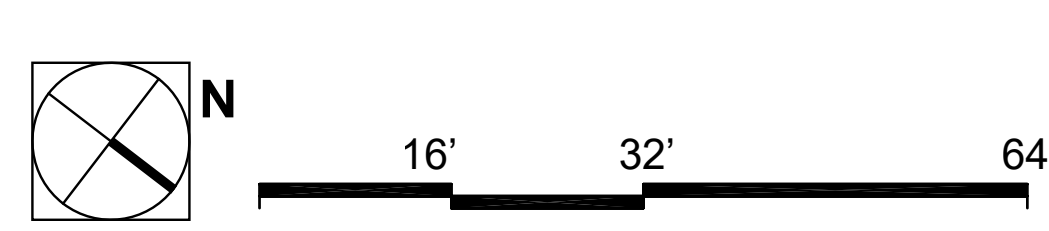
**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	
NO	DATE DESCRIPTION

**BLOCK 30
LEVEL 1**



- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR



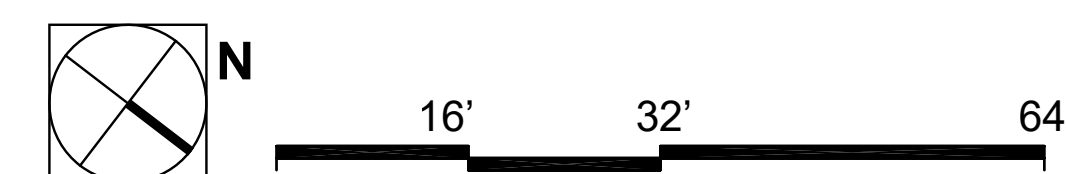
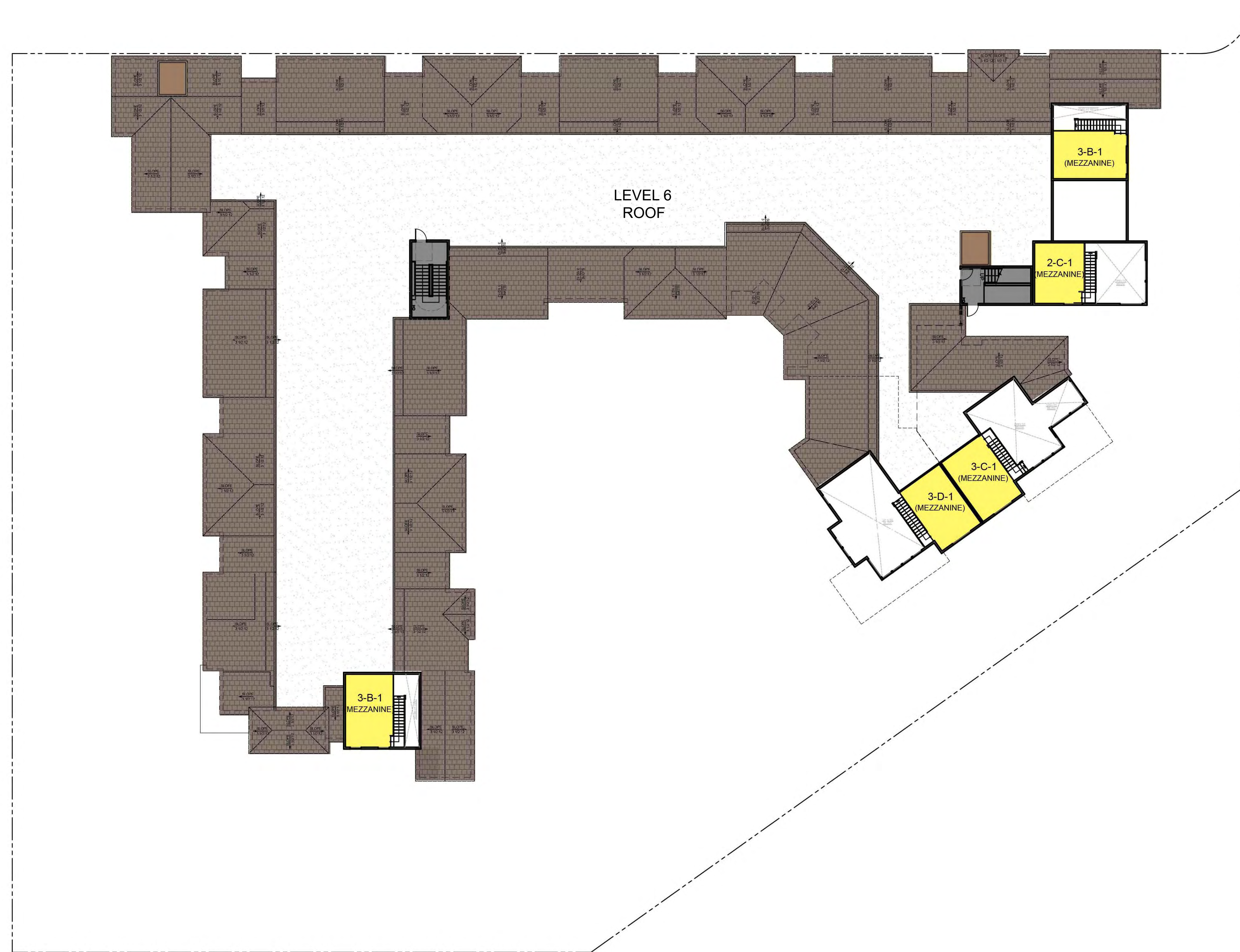
**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

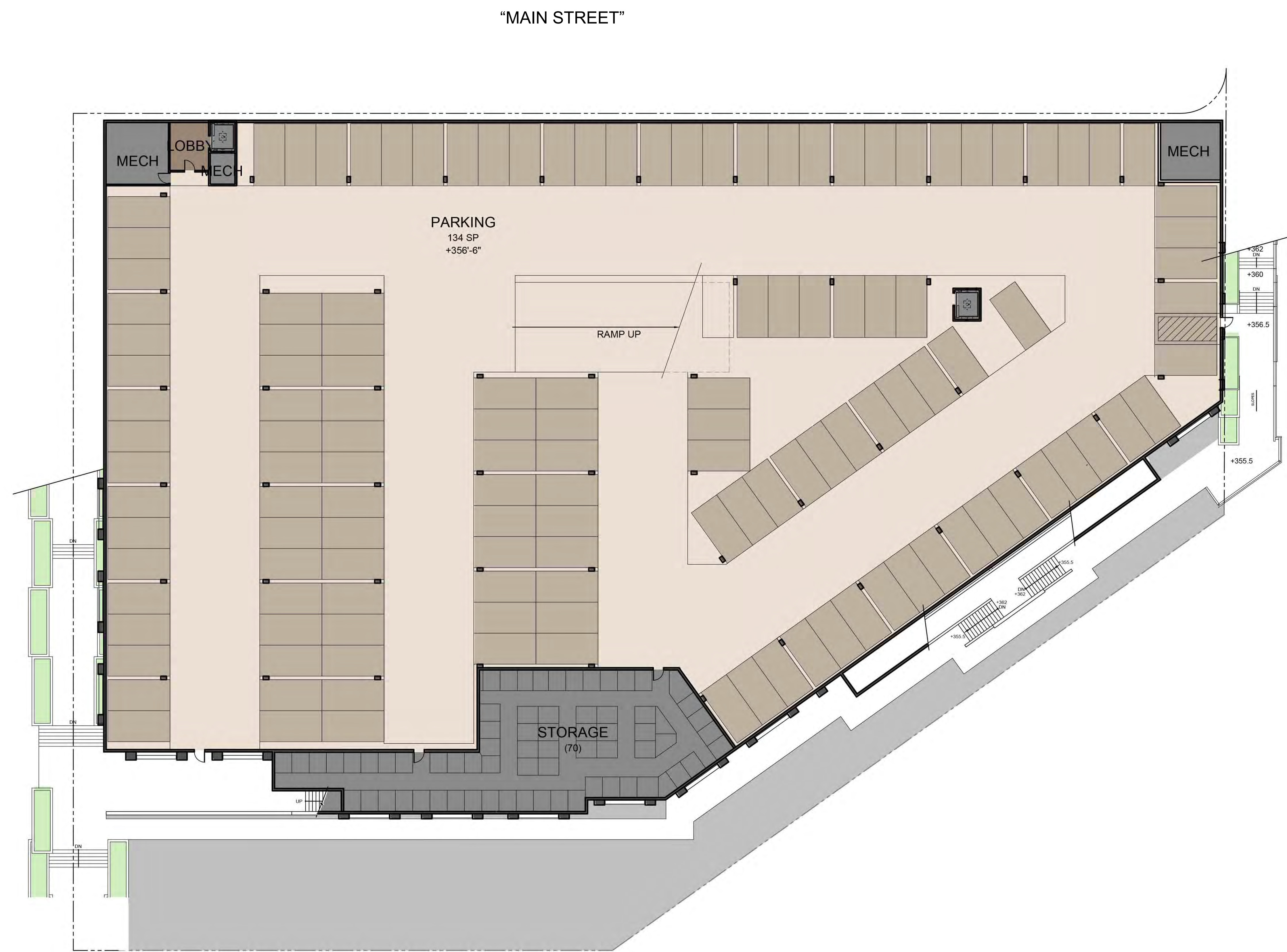
**BLOCK 30
LEVELS 2 - 5**

"MAIN STREET"

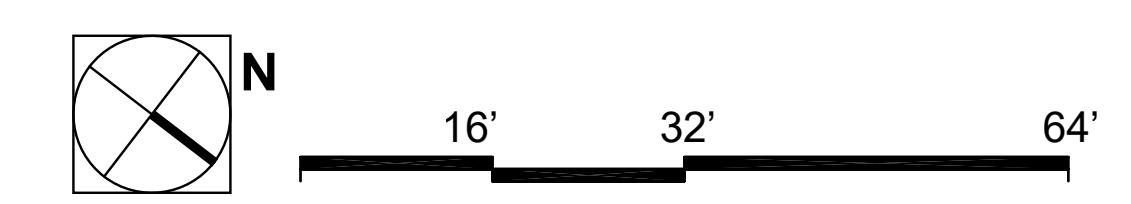
RESIDENTIAL UNITS
VERTICAL CIRCULATION



△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	PER CITY COMMENTS	CHECKED BY:
△	08/09/19	PER CITY COMMENTS	DATE: APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:



- VERTICAL CIRCULATION
- LOBBY / CORRIDOR
- PARKING
- PARKING CIRCULATION



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

△		PROJECT NO:	
△		CAD DWG FILE:	
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△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

**BLOCK 30
LEVEL -2**

• **TOTAL GROSS FLOOR AREA**
232,384 sq ft (including garage)
144,059 sq ft (not including garage)

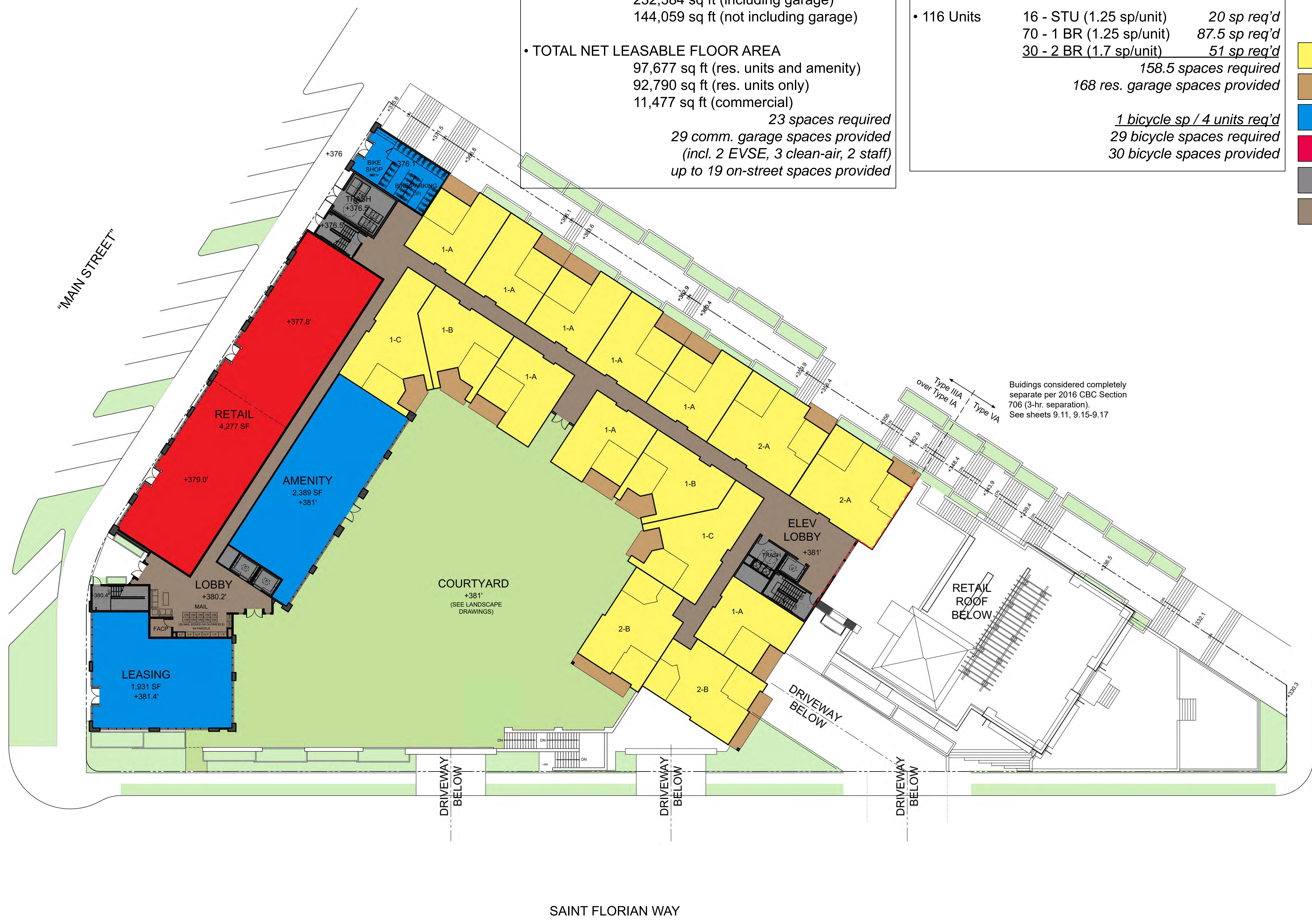
• **TOTAL NET LEASABLE FLOOR AREA**
97,677 sq ft (res. units and amenity)
92,790 sq ft (res. units only)
11,477 sq ft (commercial)
23 spaces required
29 comm. garage spaces provided
(incl. 2 EVSE, 3 clean-air, 2 staff)
up to 19 on-street spaces provided

BLOCK 31 DEVELOPMENT SUMMARY

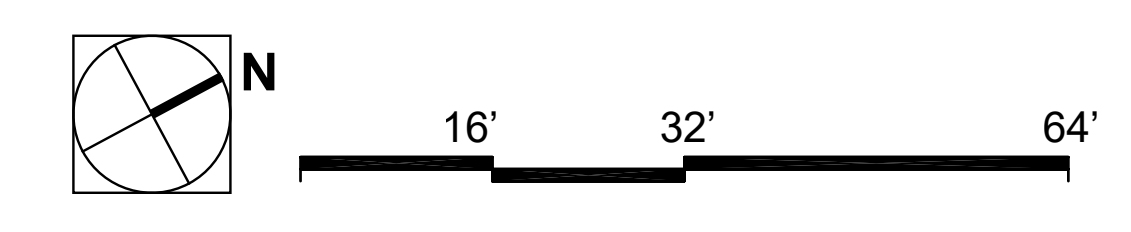
• 116 Units

16 - STU (1.25 sp/unit)	20 sp req'd
70 - 1 BR (1.25 sp/unit)	87.5 sp req'd
30 - 2 BR (1.7 sp/unit)	51 sp req'd
	158.5 spaces required
	168 res. garage spaces provided
	1 bicycle sp / 4 units req'd
	29 bicycle spaces required
	30 bicycle spaces provided

- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- RESIDENTIAL AMENITY
- RETAIL
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR



Buildings considered completely separate per 2016 CBC Section 706 (3-hr. separation). See sheets 9.11, 9.15-9.17

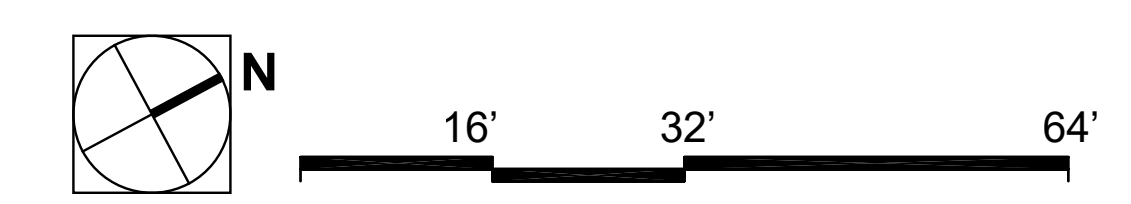


PLANNED DEVELOPMENT PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

BLOCK 31
LEVEL 1

- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
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△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

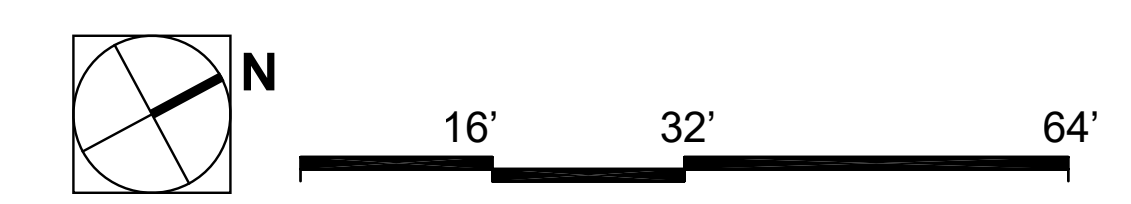
**BLOCK 31
LEVELS 2 - 4**

- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR



COMMUNICATIONS HILL BLVD

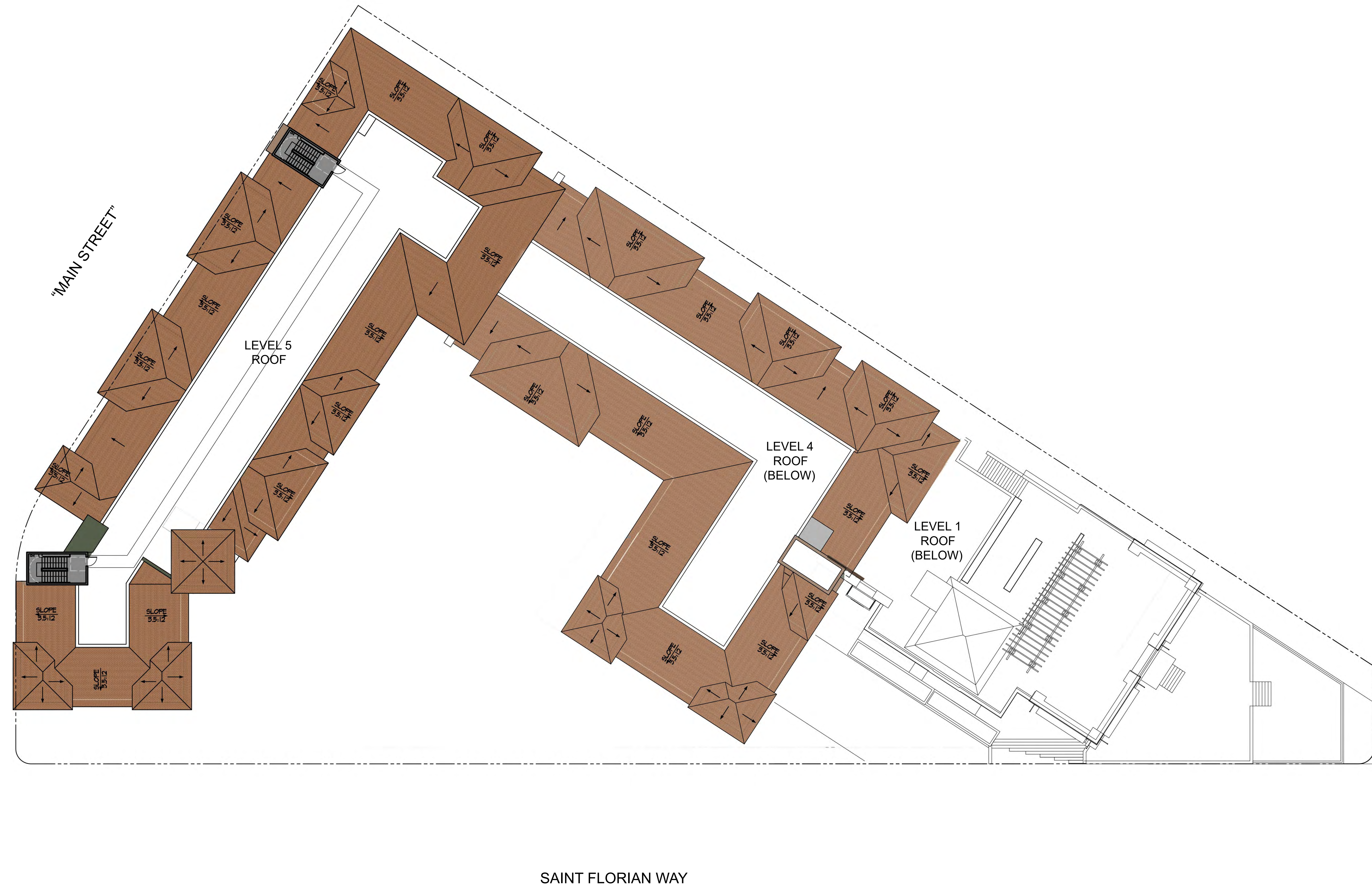
SAINT FLORIAN WAY



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

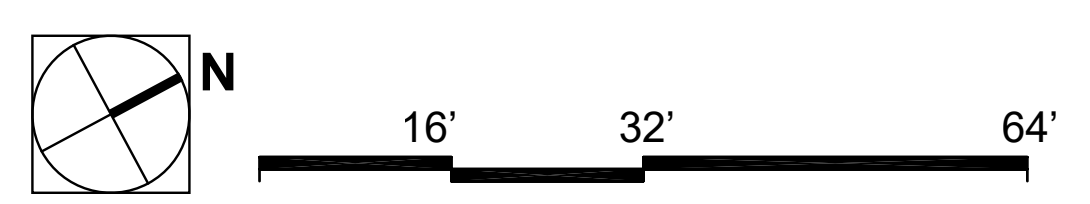
**BLOCK 31
LEVEL 5**



VERTICAL CIRCULATION

COMMUNICATIONS HILL BLVD

SAINT FLORIAN WAY



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

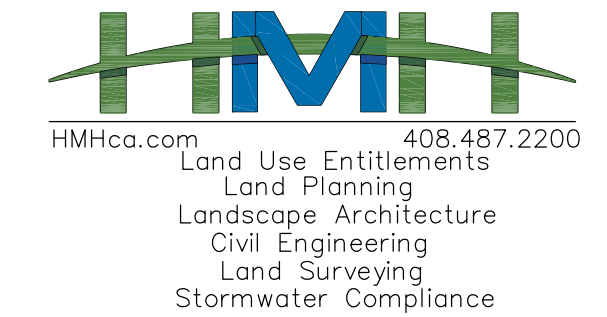
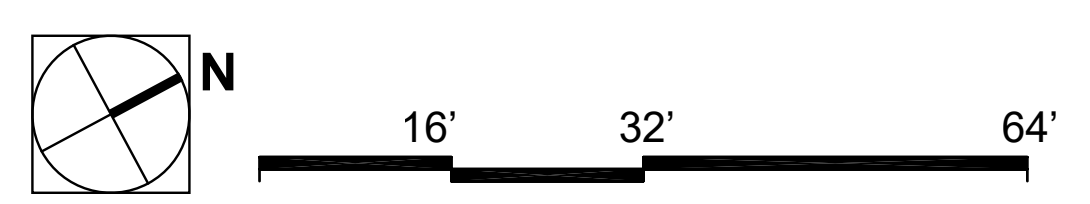
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△		CAD DWG FILE:	
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△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

**BLOCK 31
ROOF**

- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR
- PARKING
- PARKING CIRCULATION



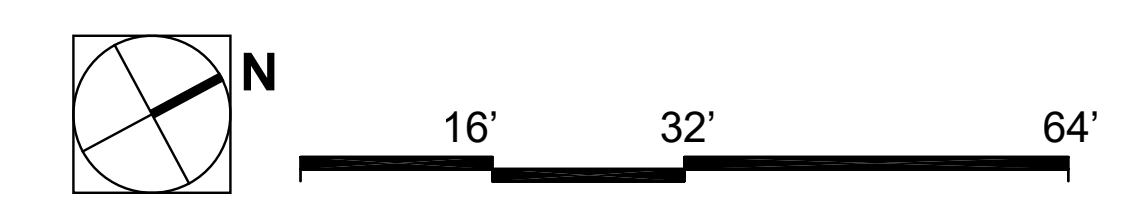
Buildings considered completely separate per 2016 CBC Section 706 (3-hr. separation). See sheets 9.11, 9.15-9.17



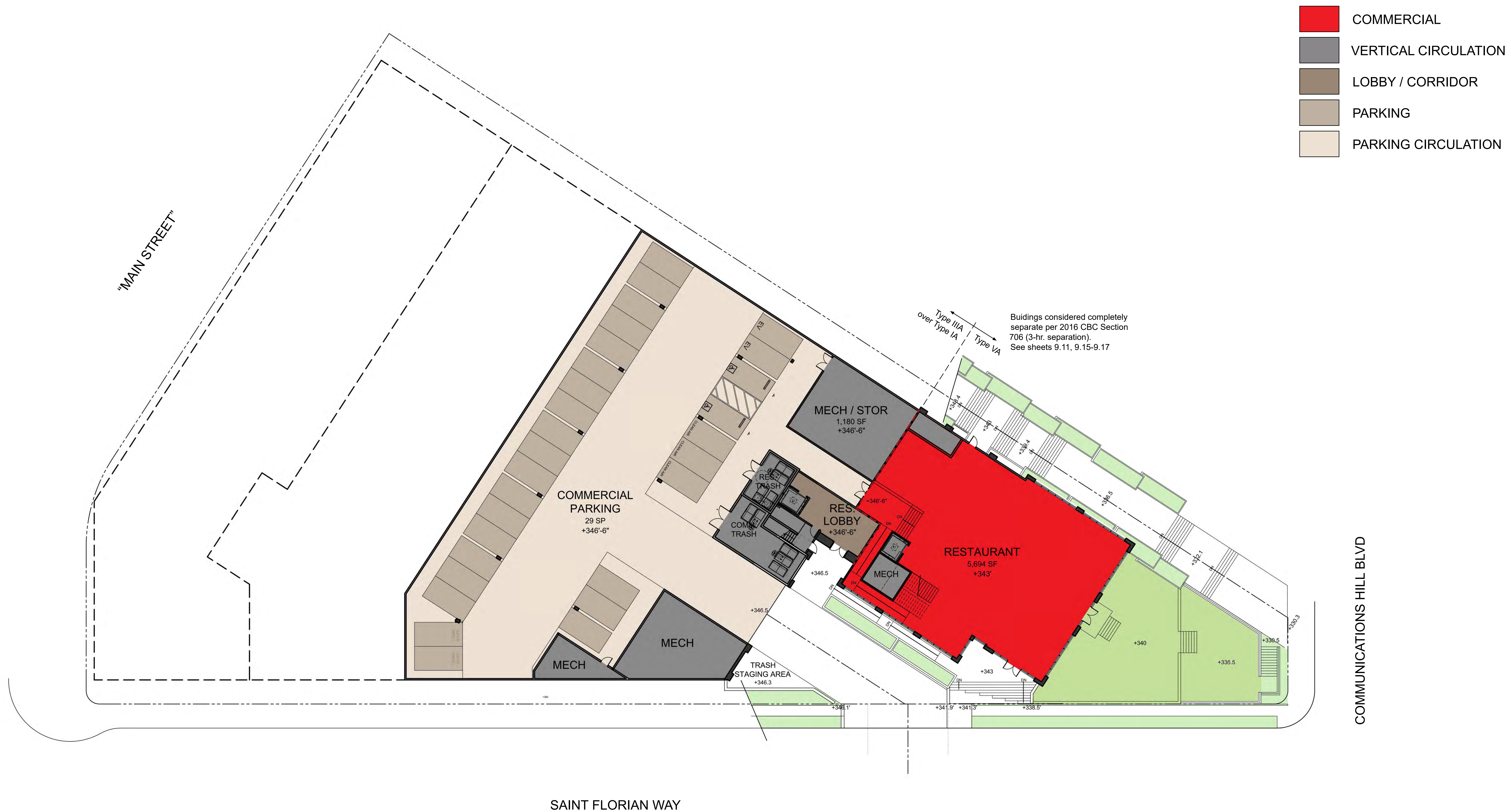
**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

**BLOCK 31
LEVEL -1**



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

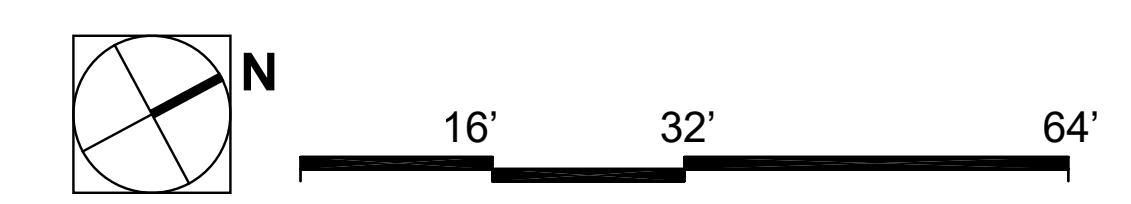


- COMMERCIAL
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR
- PARKING
- PARKING CIRCULATION

Buildings considered completely separate per 2016 CBC Section 706 (3-hr. separation). See sheets 9.11, 9.15-9.17

COMMUNICATIONS HILL BLVD

SAINT FLORIAN WAY



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

**BLOCK 31
LEVEL -3**

ALTINO BLVD



- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- RESIDENTIAL AMENITY
- RETAIL
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR
- PARKING
- PARKING CIRCULATION

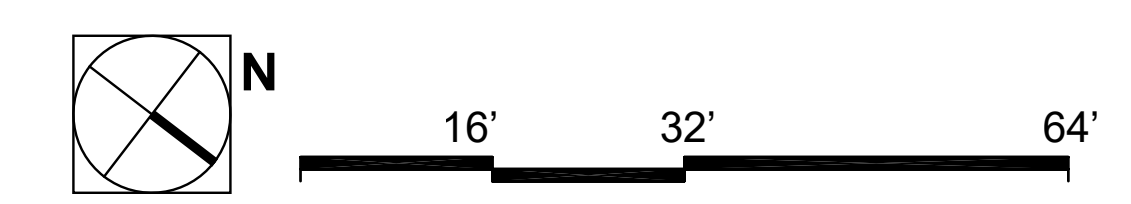
BLOCK 32 DEVELOPMENT SUMMARY

- 158 Units
 - 16 - STU (1.25 sp/unit) 20 sp req'd
 - 94 - 1 BR (1.25 sp/unit) 117.5 sp req'd
 - 48 - 2 BR (1.7 sp/unit) 81.6 sp req'd
 - 219.1 spaces required
 - 222 res. garage spaces provided (incl. 23 EVSE)
 - 1 bicycle sp / 4 units req'd
 - 39.5 bicycle spaces required
 - 40 bicycle spaces provided
- TOTAL GROSS FLOOR AREA
 - 282,835 sq ft (including garage)
 - 193,030 sq ft (not including garage)
- TOTAL NET FLOOR AREA
 - 131,980 sq ft (res. units and amenity)
 - 126,725 sq ft (res. units only)
 - 19,419 sq ft (commercial)
 - 38.8 spaces required
 - 5 comm. garage spaces provided (staff)
 - up to 32 on-street spaces provided

SAINT FLORIAN WAY

LARCIANO STREET

"MAIN STREET"



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

**BLOCK 32
LEVEL 1**

ALTINO BLVD

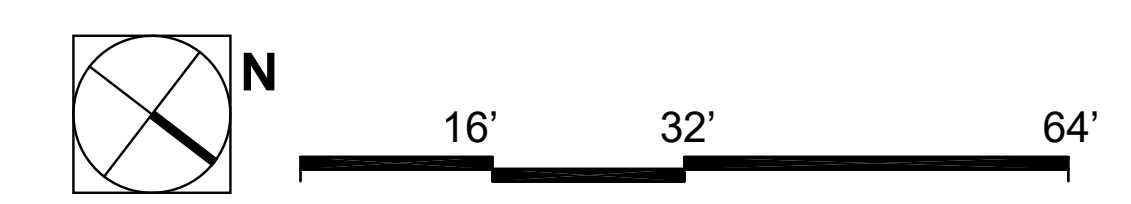


- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- RESIDENTIAL AMENITY
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR

LARCIANO STREET

SAINT FLORIAN WAY

"MAIN STREET"



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

**BLOCK 32
LEVEL 2**

ALTINO BLVD

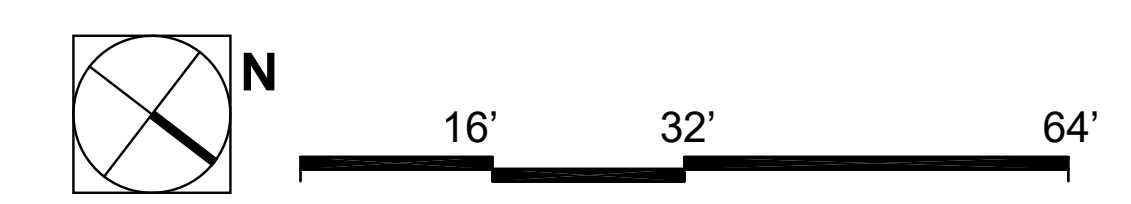
- RESIDENTIAL UNITS
- RESIDENTIAL DECKS
- VERTICAL CIRCULATION
- LOBBY / CORRIDOR



LARCIANO STREET

SAINTE FLORIAN WAY

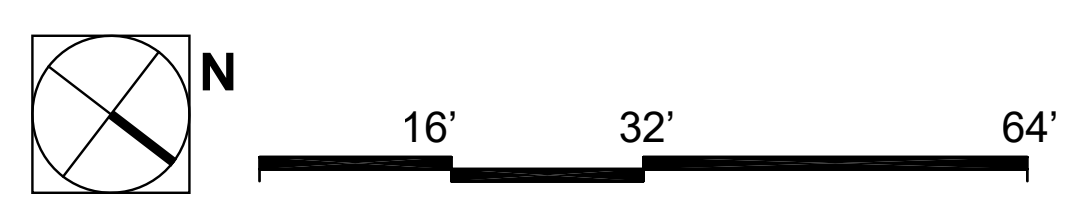
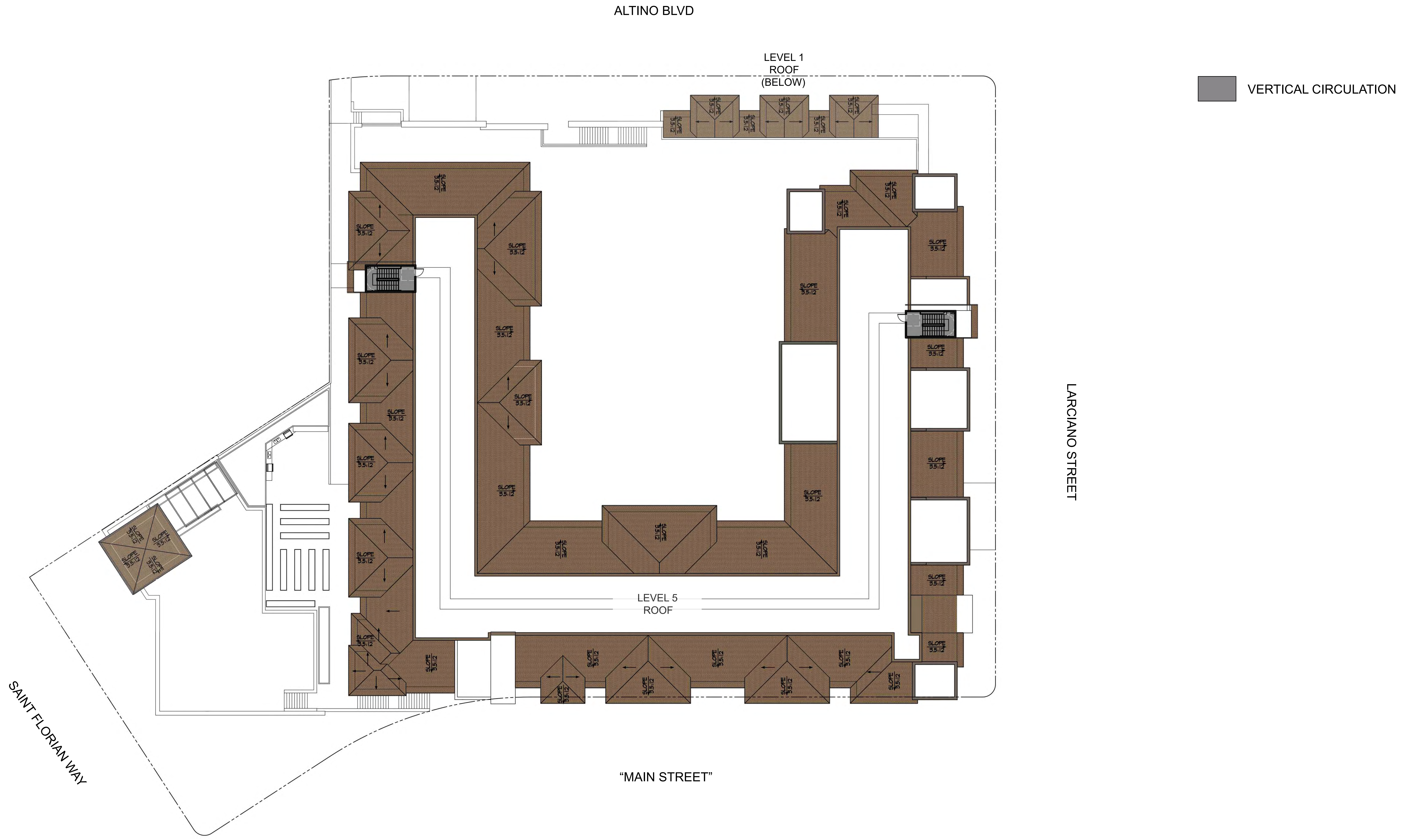
"MAIN STREET"



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

△		PROJECT NO:	
△		CAD DWG FILE:	
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△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

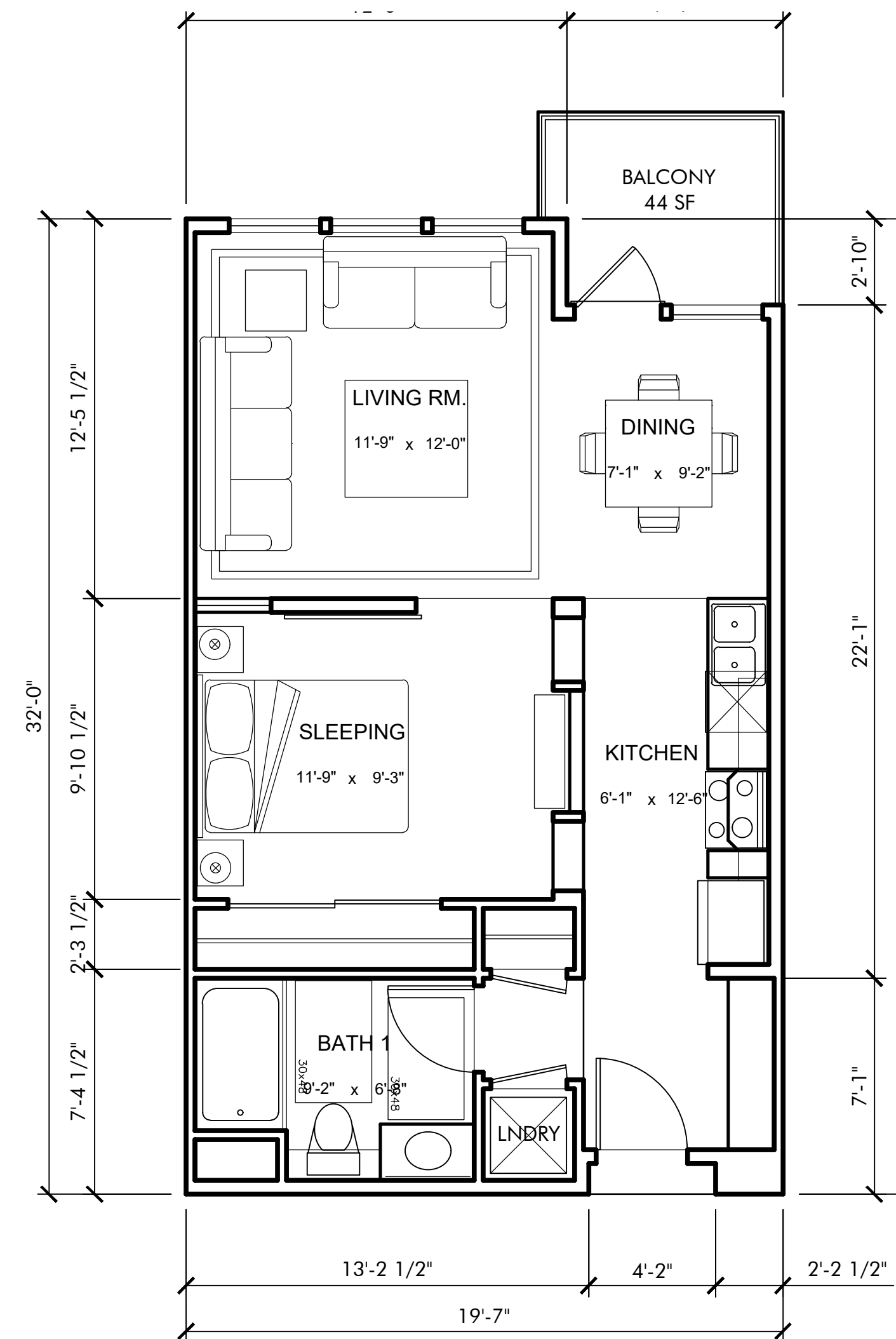
**BLOCK 32
LEVELS 3 - 5**



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

NO	DATE	DESCRIPTION	PROJECT NO:
△			CAD DWG FILE:
△			DESIGNED BY:
△			DRAWN BY:
△	01/24/20	PER CITY COMMENTS	CHECKED BY:
△	08/09/19	PER CITY COMMENTS	DATE: APRIL 10, 2017
			SCALE:

**BLOCK 32
ROOF**

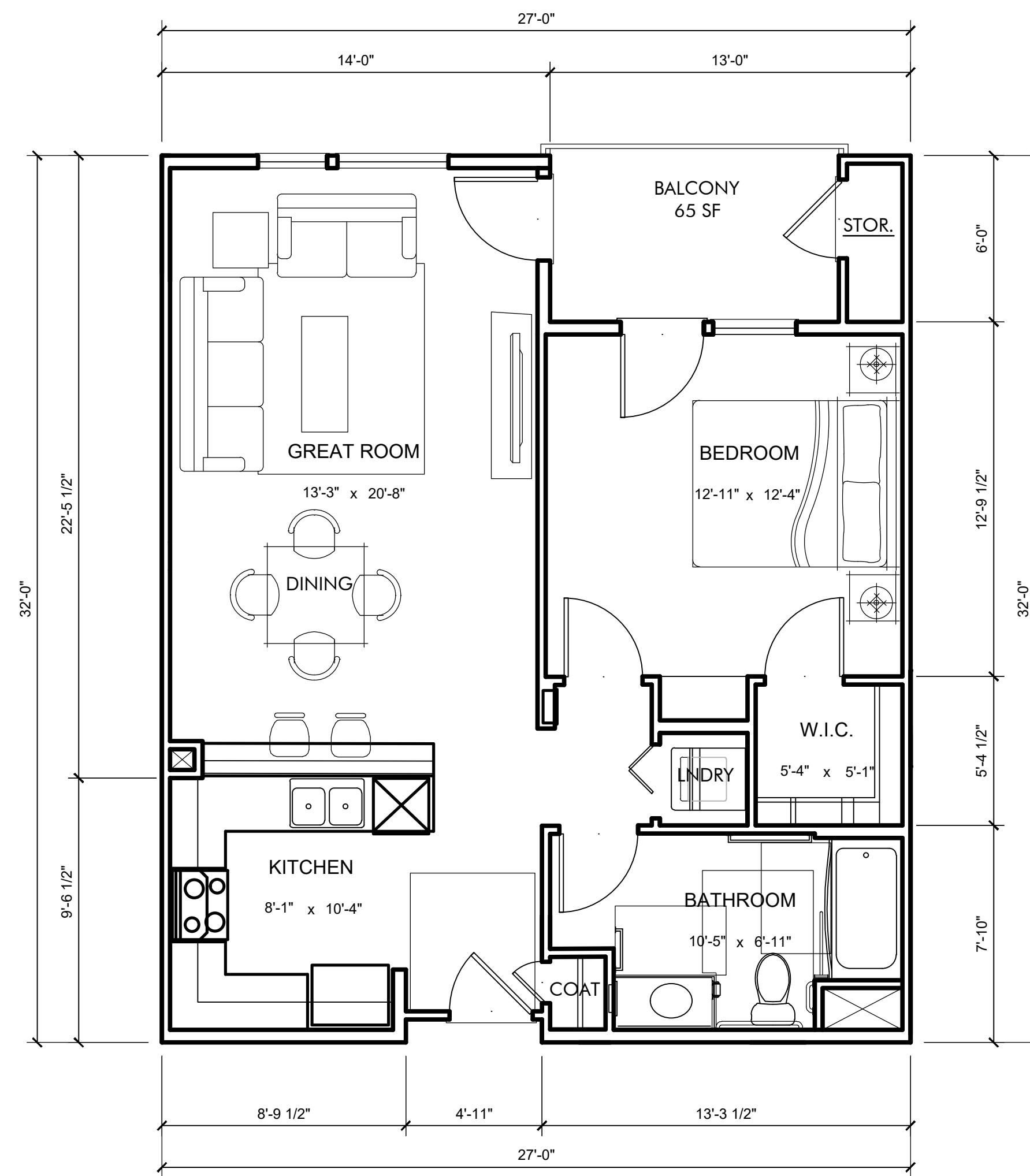


UNIT S-A
STUDIO / 1 BA
GROSS AREA: 600 SQFT
NET AREA: 550 SQFT

UNIT "S-A"

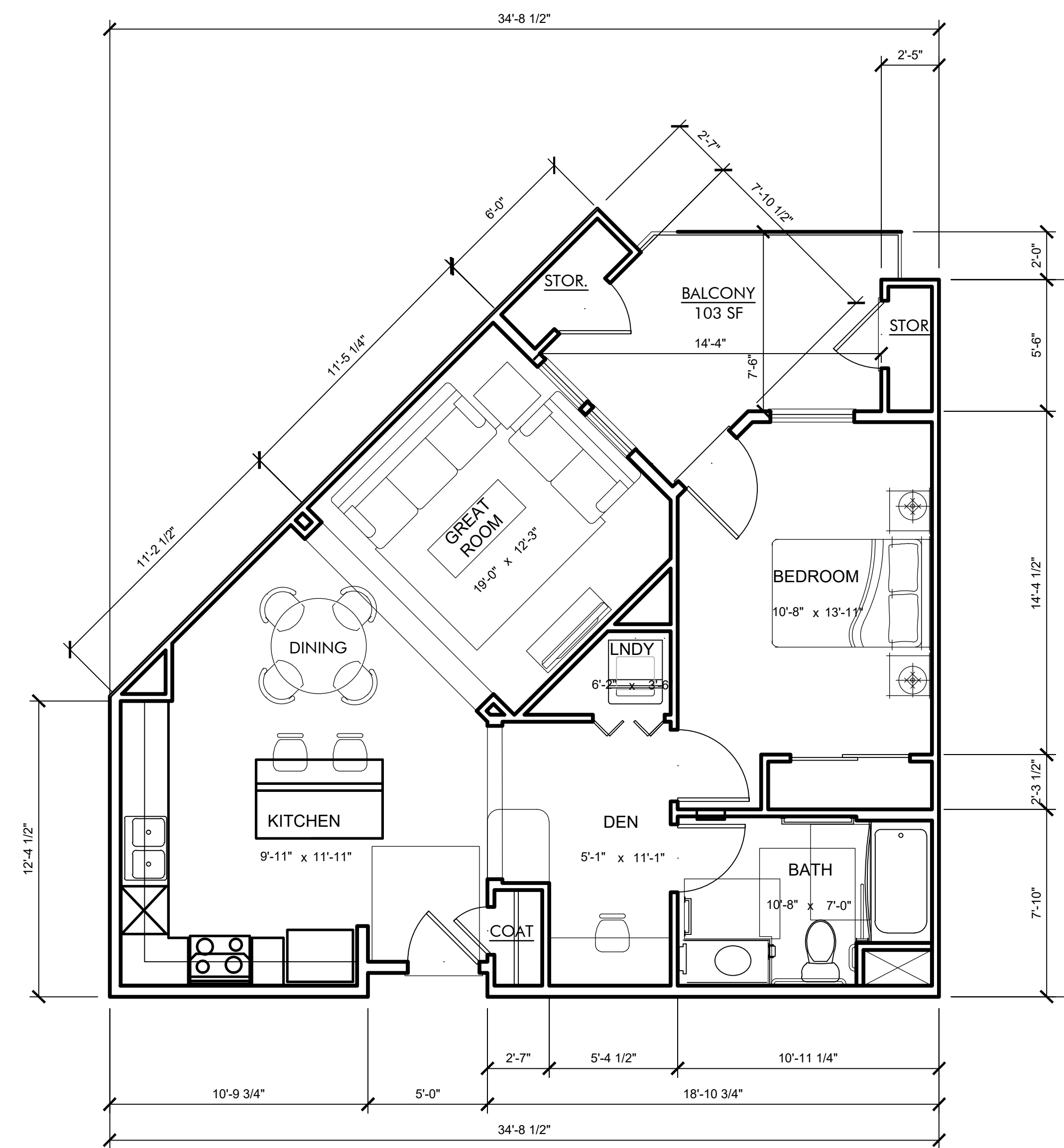


△		PROJECT NO:	
△		CAD DWG FILE:	
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△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:



UNIT 1-A
1 BED / 1 BATH
GROSS AREA: 797 SQFT
NET AREA: 738 SQFT

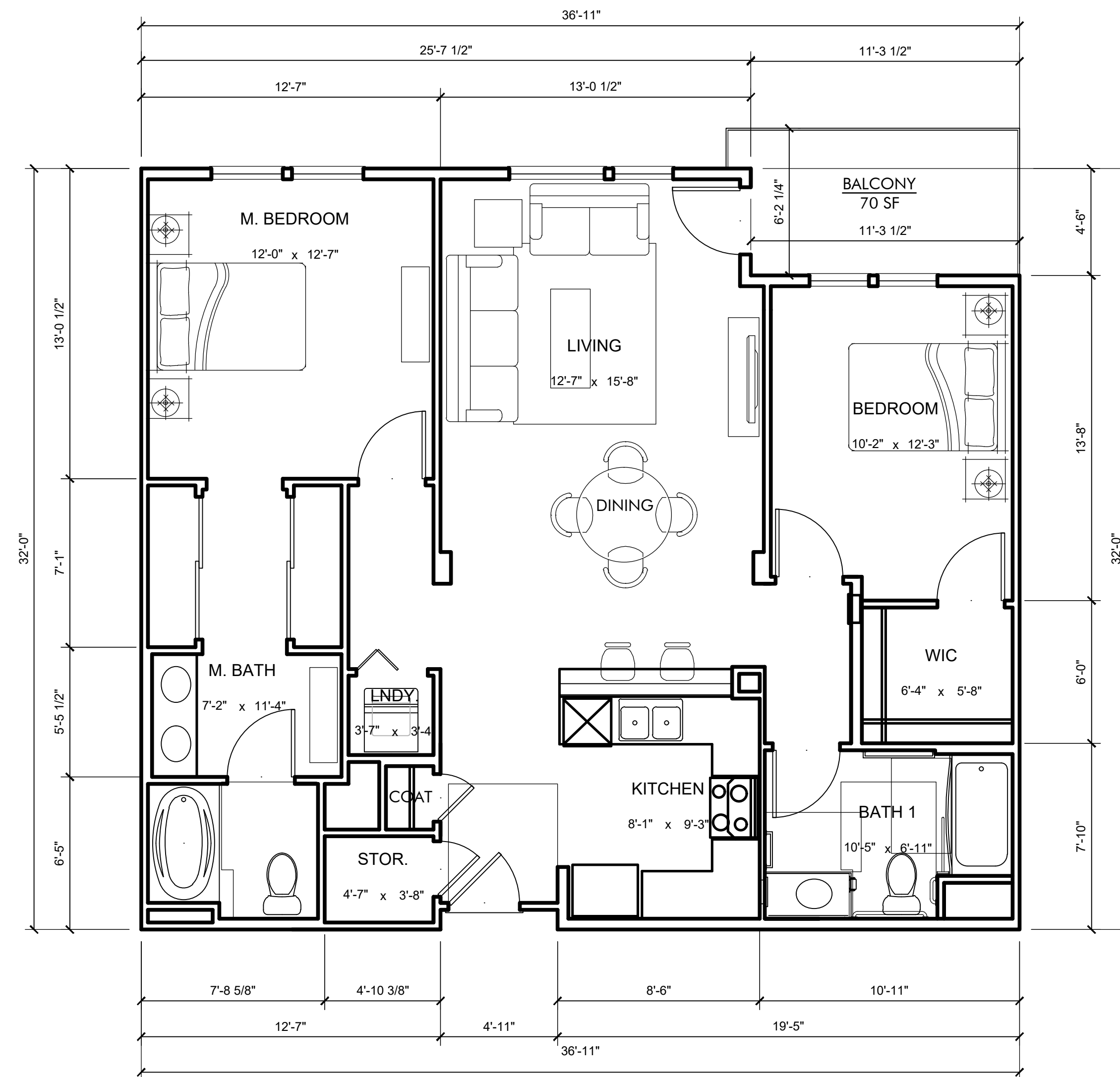
UNIT "1-A"



UNIT 1-B
1 BED + DEN / 1 BATH
GROSS AREA: 816 SF
NET AREA: 745 SF

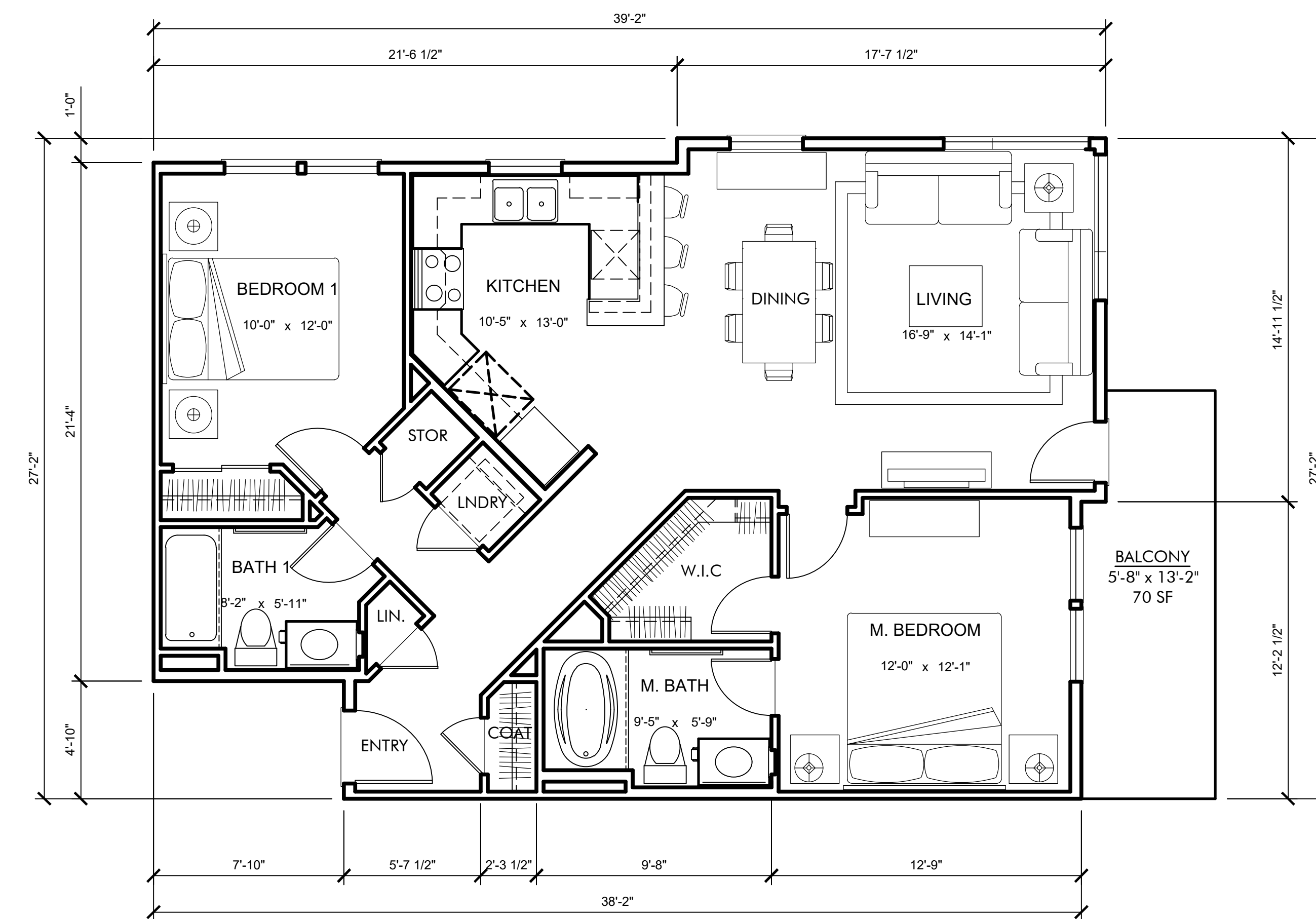
UNIT "1-B"





UNIT 2-A (TYPICAL)
2 BEDROOM / 2 BATH
GROSS AREA: 1126 SQFT
NET AREA: 1060 SQFT

UNIT "2-A"

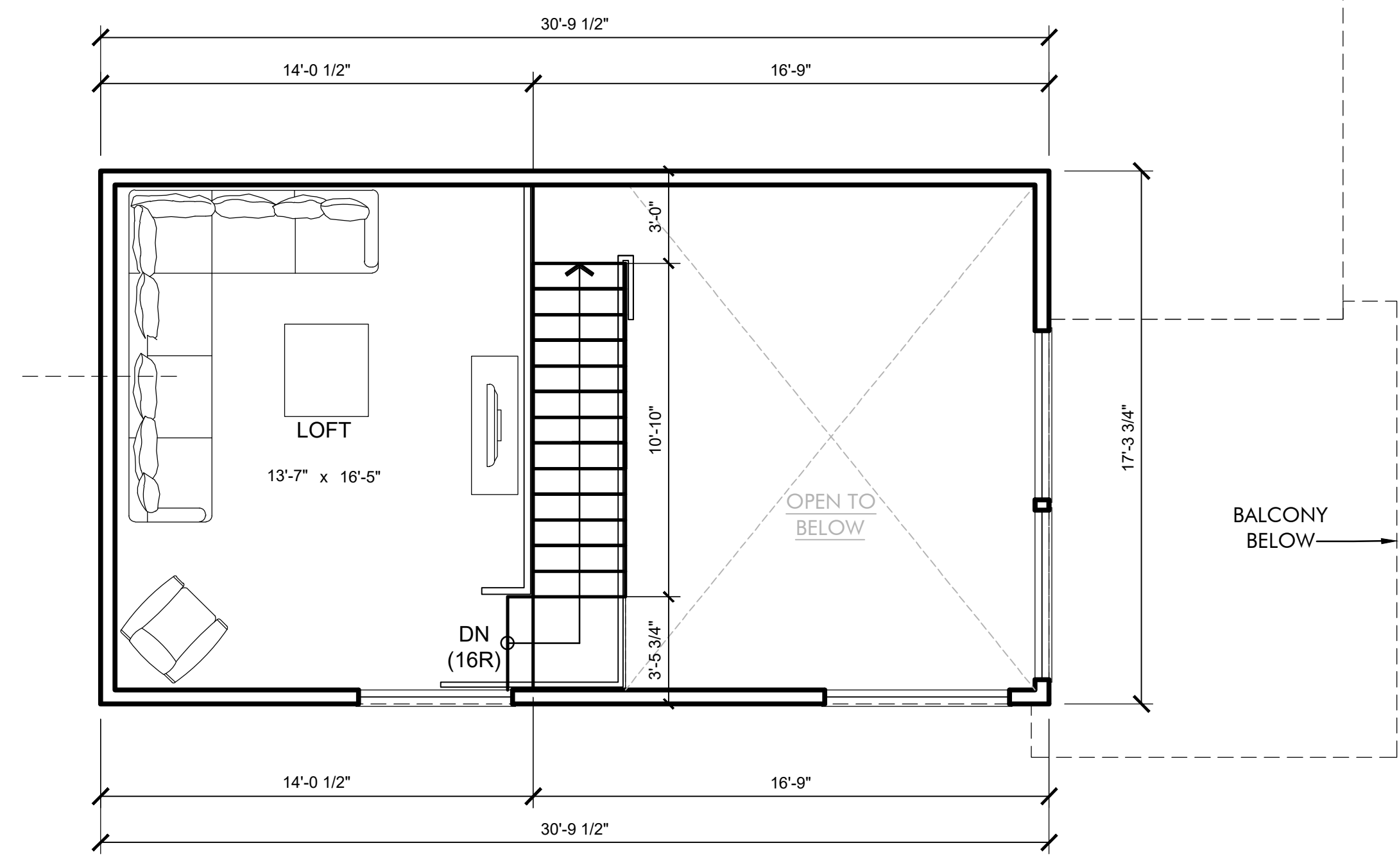


UNIT 2-B
2 BEDROOM / 2 BATH
GROSS AREA: 992 SF
NET AREA: 927 SF

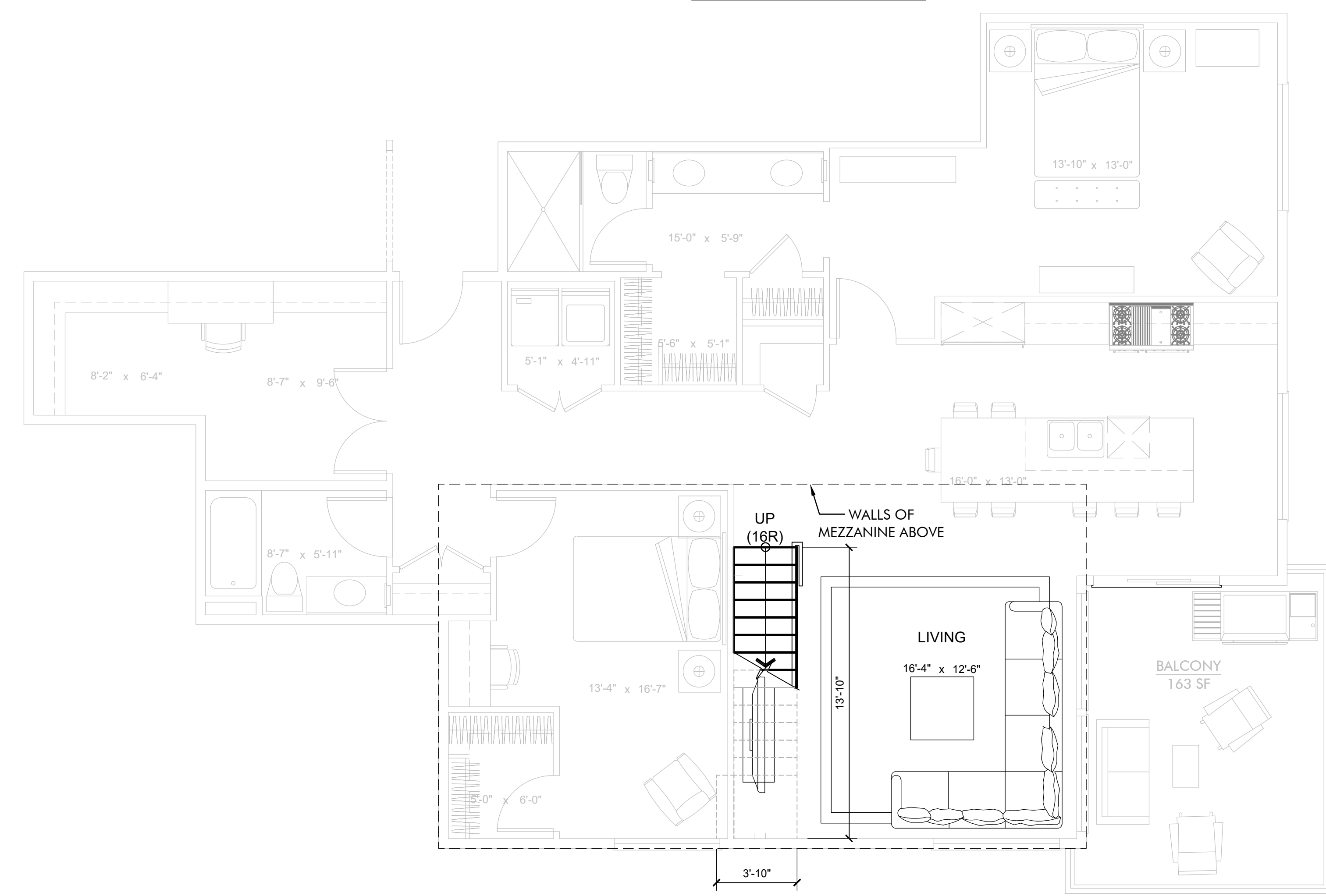
UNIT "2-B"



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

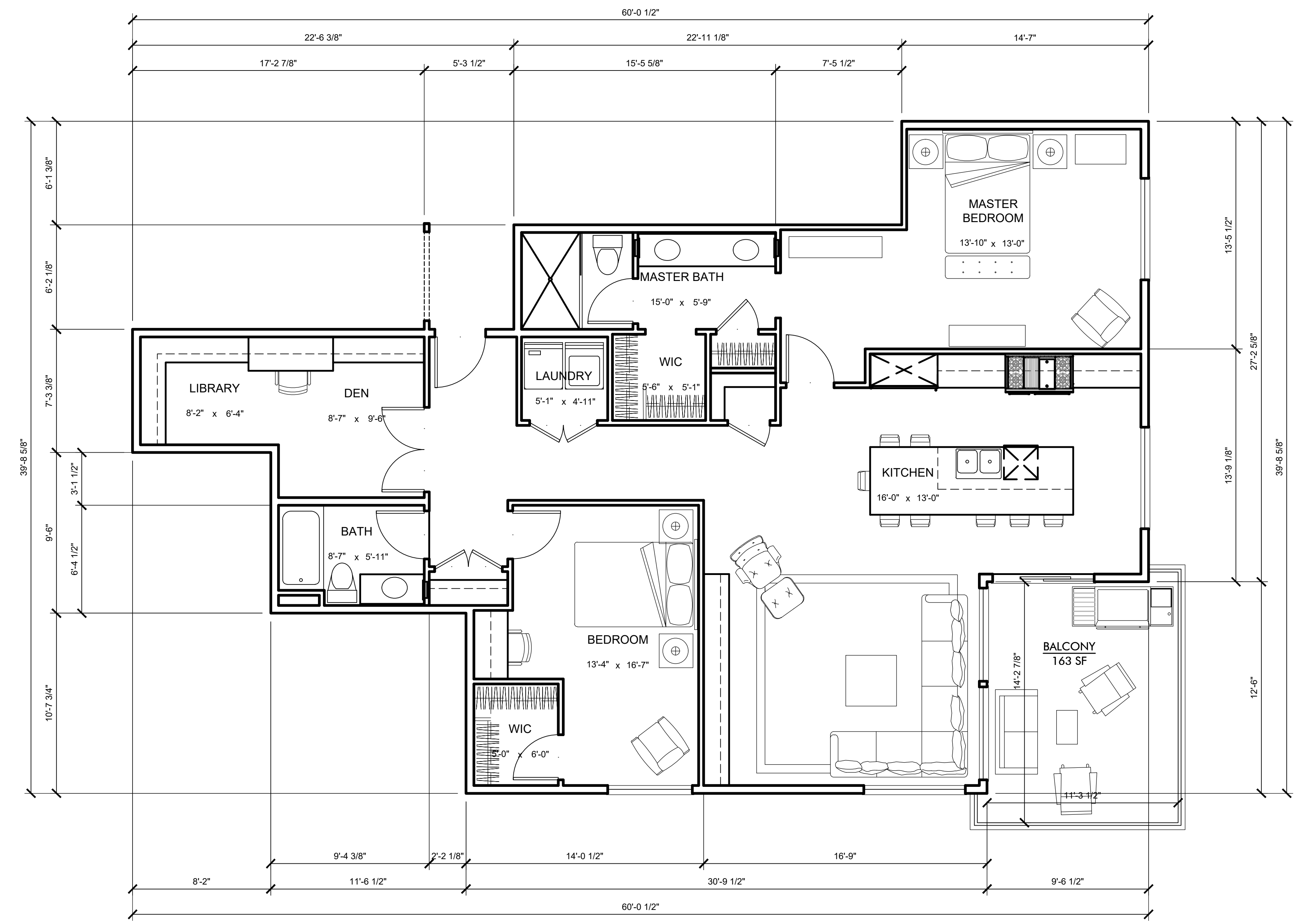


UNIT 2-C-1
MEZZANINE LEVEL



UNIT 2-C-1
2 BEDROOM / 2 BATH MEZZANINE + DEN
GROSS AREA: 1,563+263 = 1,826 SQFT
NET AREA: 1,462+218 = 1,680 SQFT

UNIT "2-C" Variation



UNIT 2-C (TYPICAL)
2 BEDROOM / 2 BATH + DEN
GROSS AREA: 1,563 SQFT
NET AREA: 1,462 SQFT

UNIT "2-C"

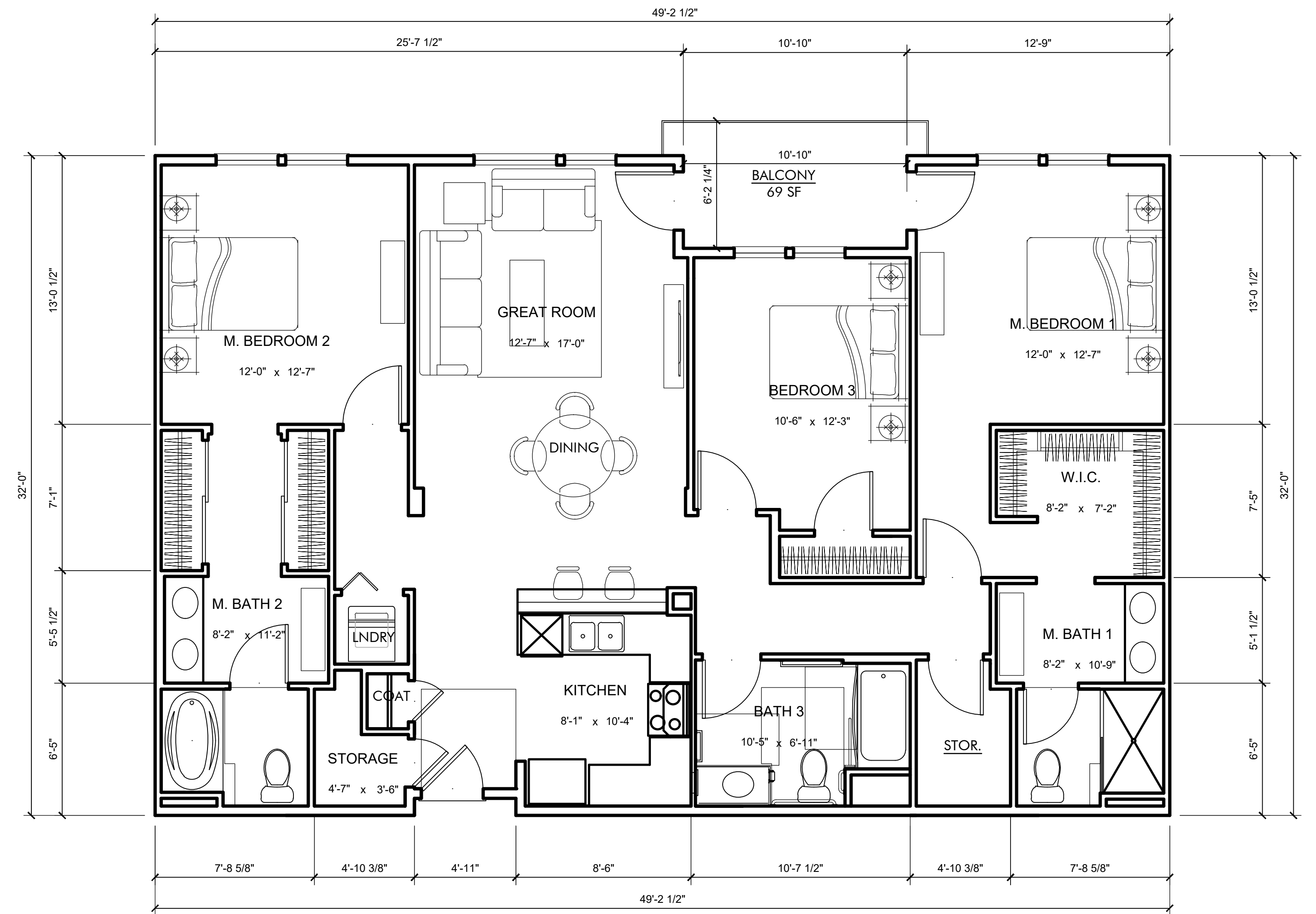
16' 32' 64'



PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

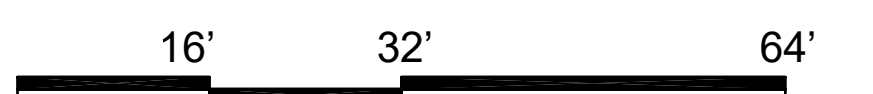
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△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:

2 BEDROOM UNIT PLANS

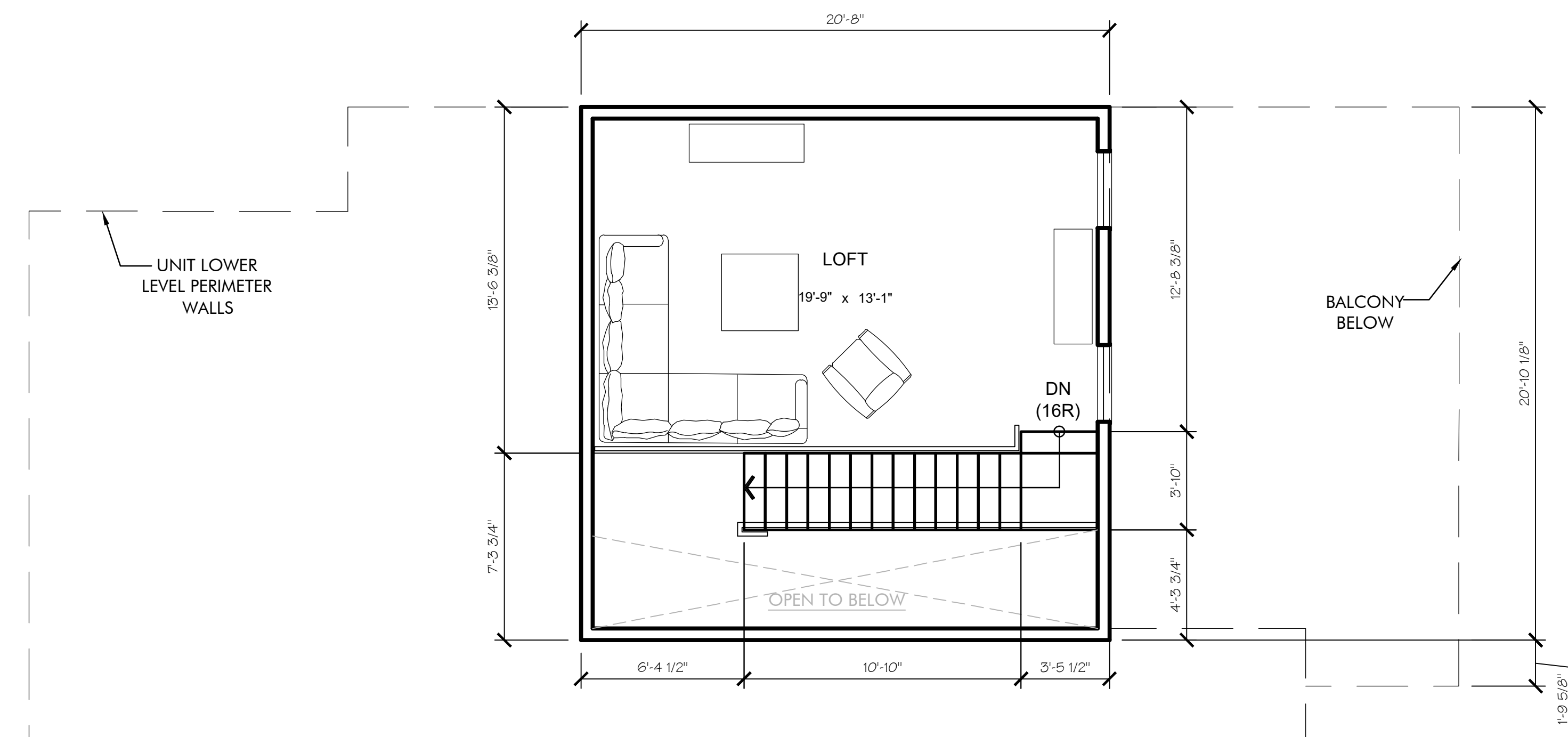


UNIT 3-A (TYPICAL)
3 BEDROOM / 3 BATH
GROSS AREA: 1,522 SQFT
NET AREA: 1,445 SQFT

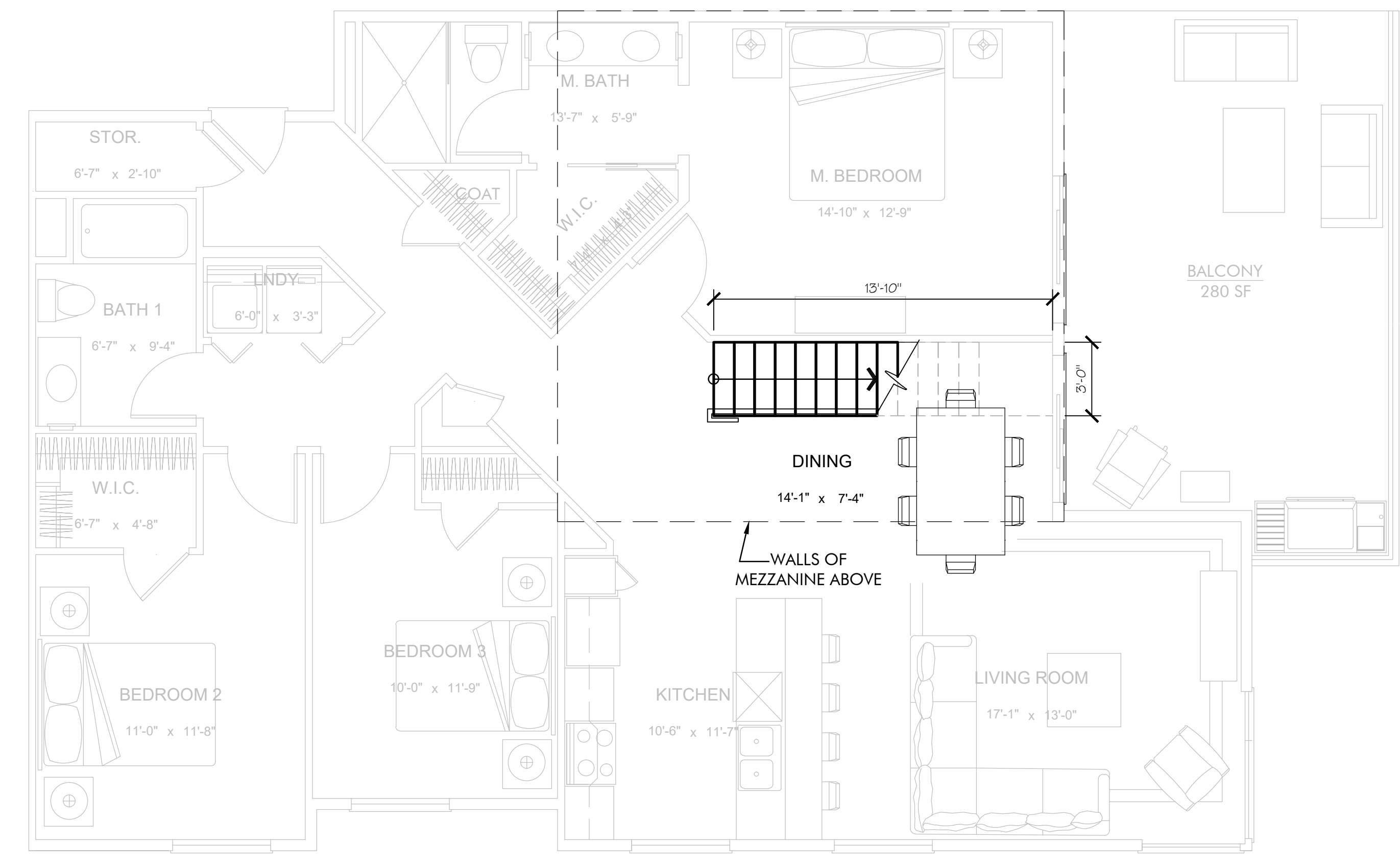
UNIT "3-A"



△		PROJECT NO:	
△		CAD DWG FILE:	
△		DESIGNED BY:	
△		DRAWN BY:	
△	01/24/20	CHECKED BY:	
△	08/09/19	DATE:	APRIL 10, 2017
NO	DATE	DESCRIPTION	SCALE:



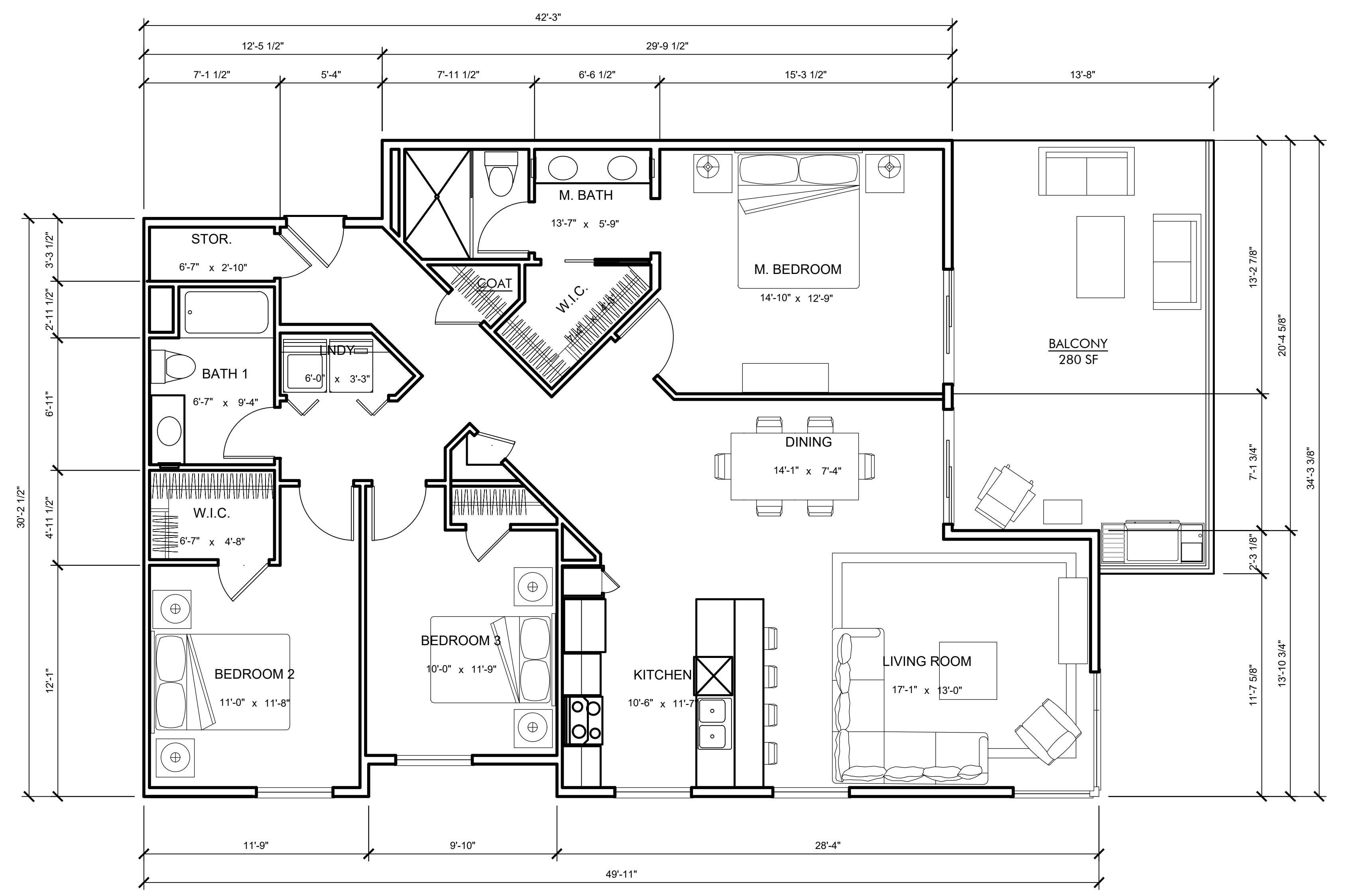
UNIT 3-B-1
MEZZANINE LEVEL



UNIT 3-B-1
3 BED / 2 BATH + MEZZANINE

GROSS AREA: 1487+279=1766 SQFT
NET AREA: 1406+254=1660 SQFT

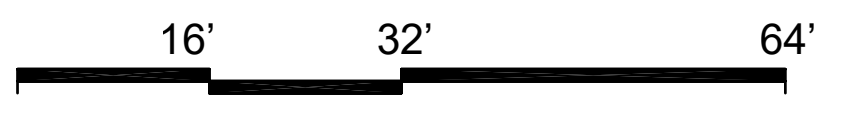
UNIT "3-B" VARIATION



UNIT 3-B (TYPICAL)
3 BED / 2 BATH

GROSS AREA: 1487 SQFT
NET AREA: 1406 SQFT

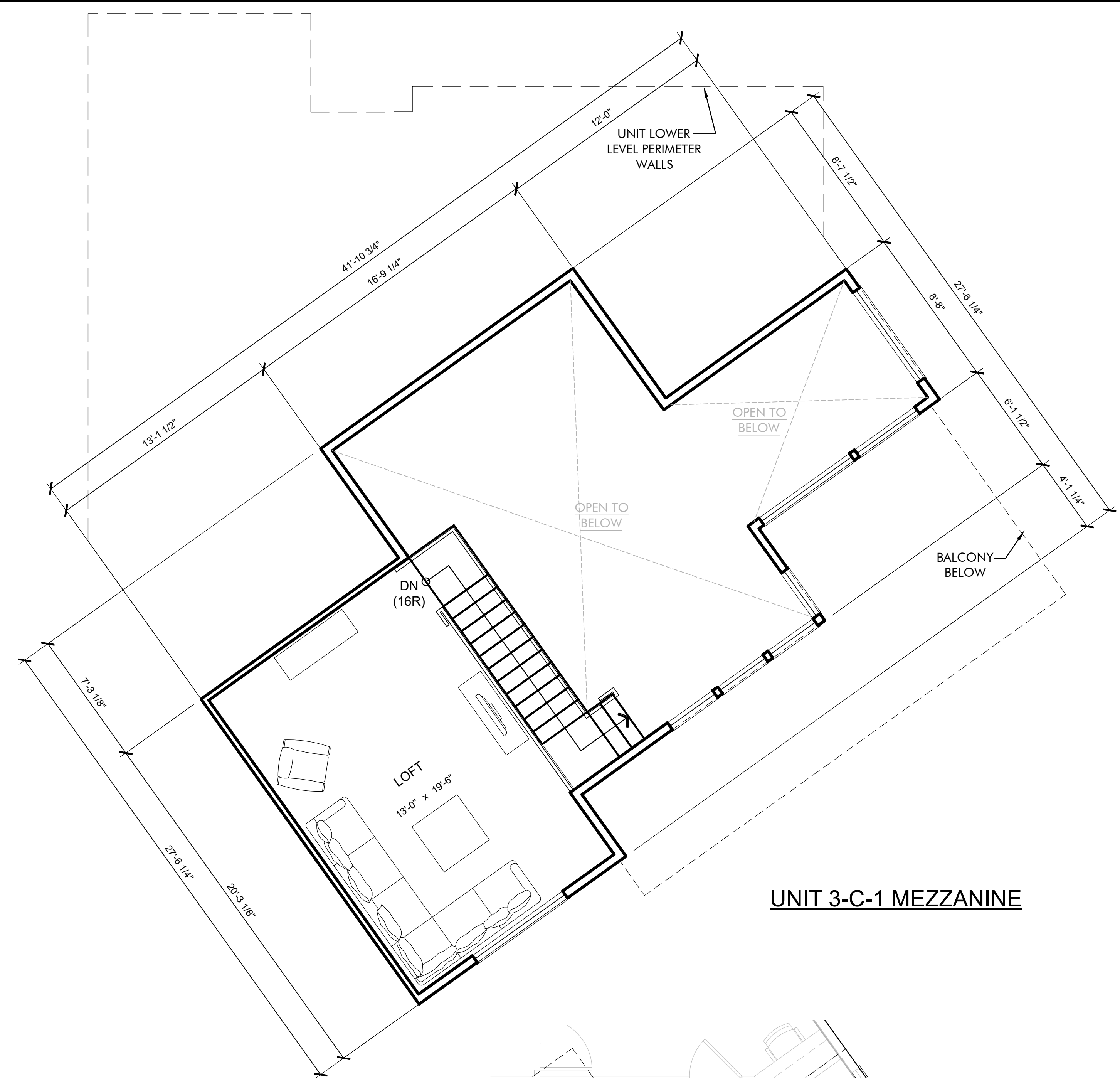
UNIT "3-B"



PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

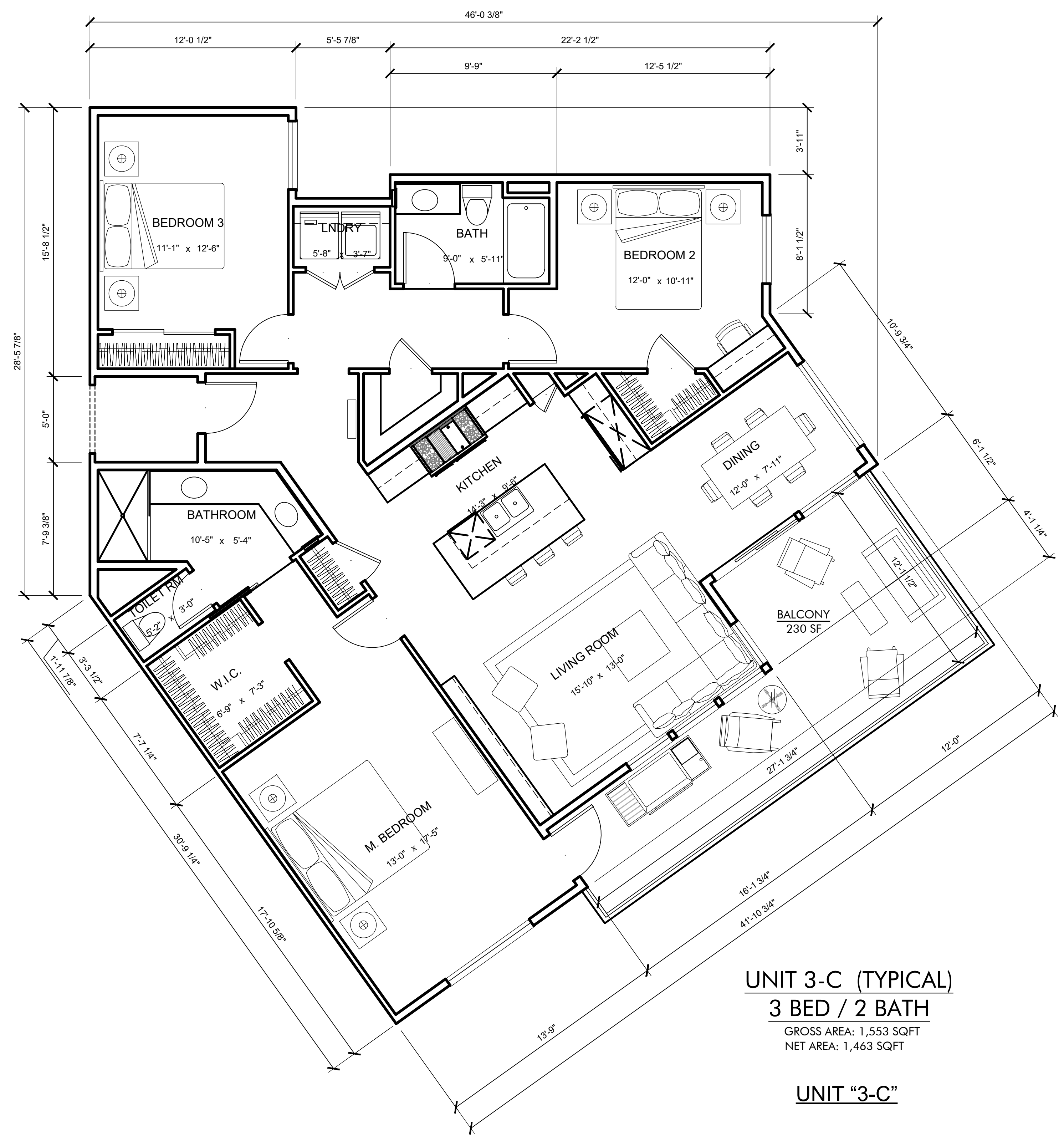
3 BEDROOM UNIT PLANS



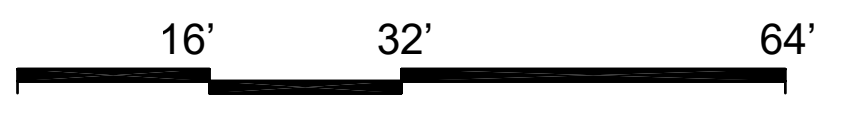
UNIT 3-C-1 MEZZANINE



UNIT 3-C-1
3 BED / 2 BATH
GROSS AREA: 1,553+276=1829 SQFT
NET AREA: 1,463+254=1717 SQFT
UNIT "3-C" VARIATION



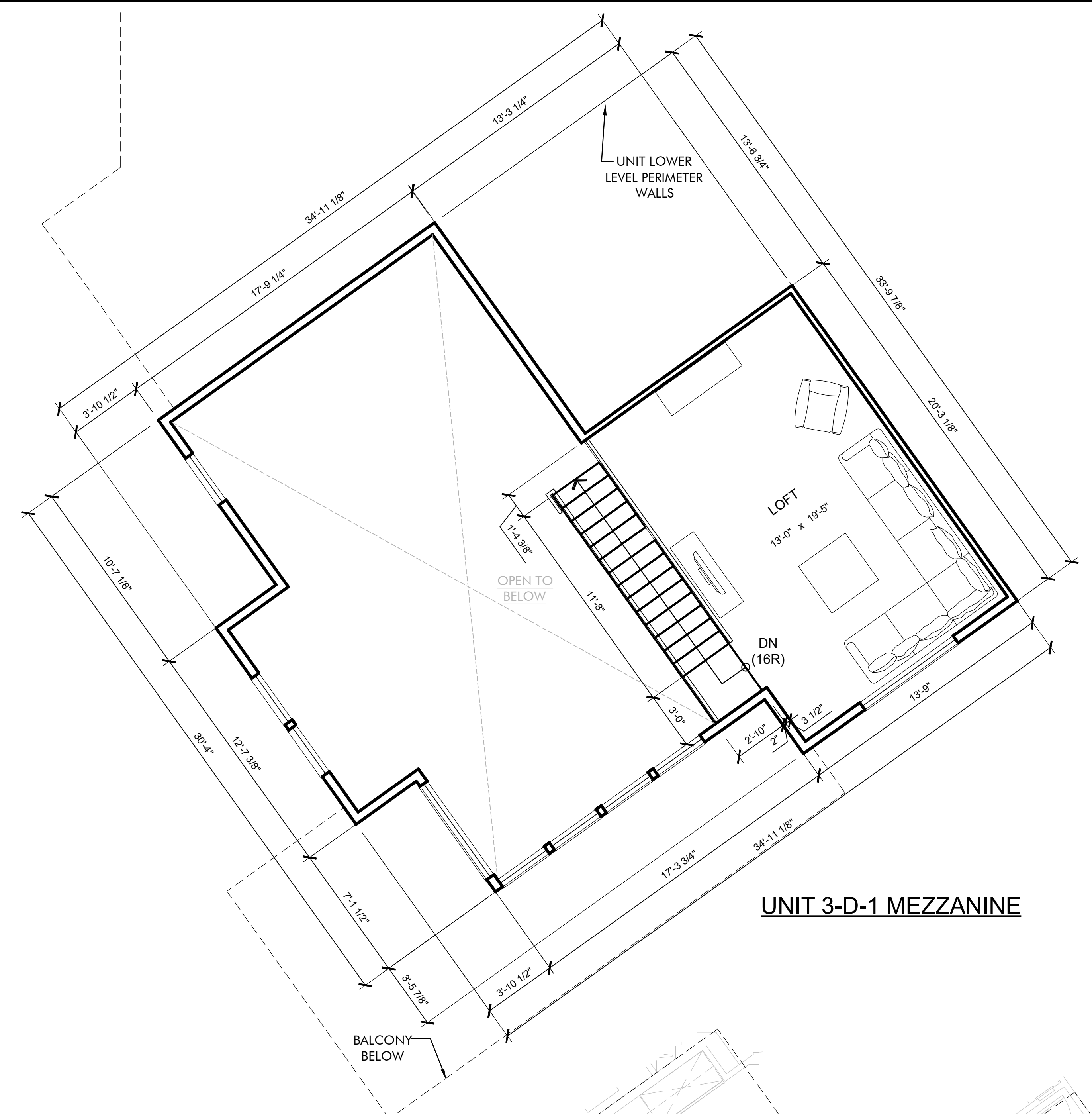
UNIT 3-C (TYPICAL)
3 BED / 2 BATH
GROSS AREA: 1,553 SQFT
NET AREA: 1,463 SQFT
UNIT "3-C"



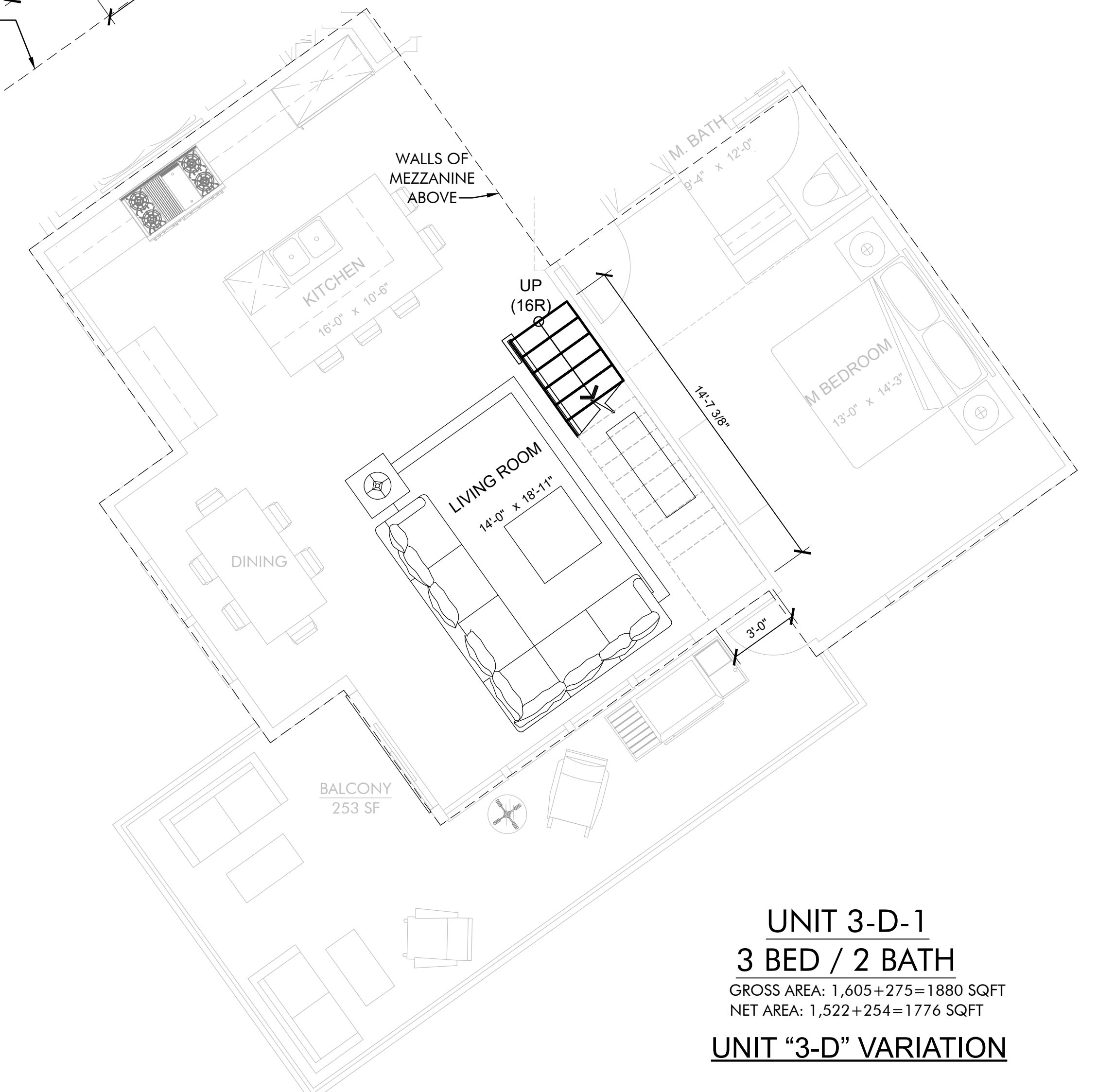
PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

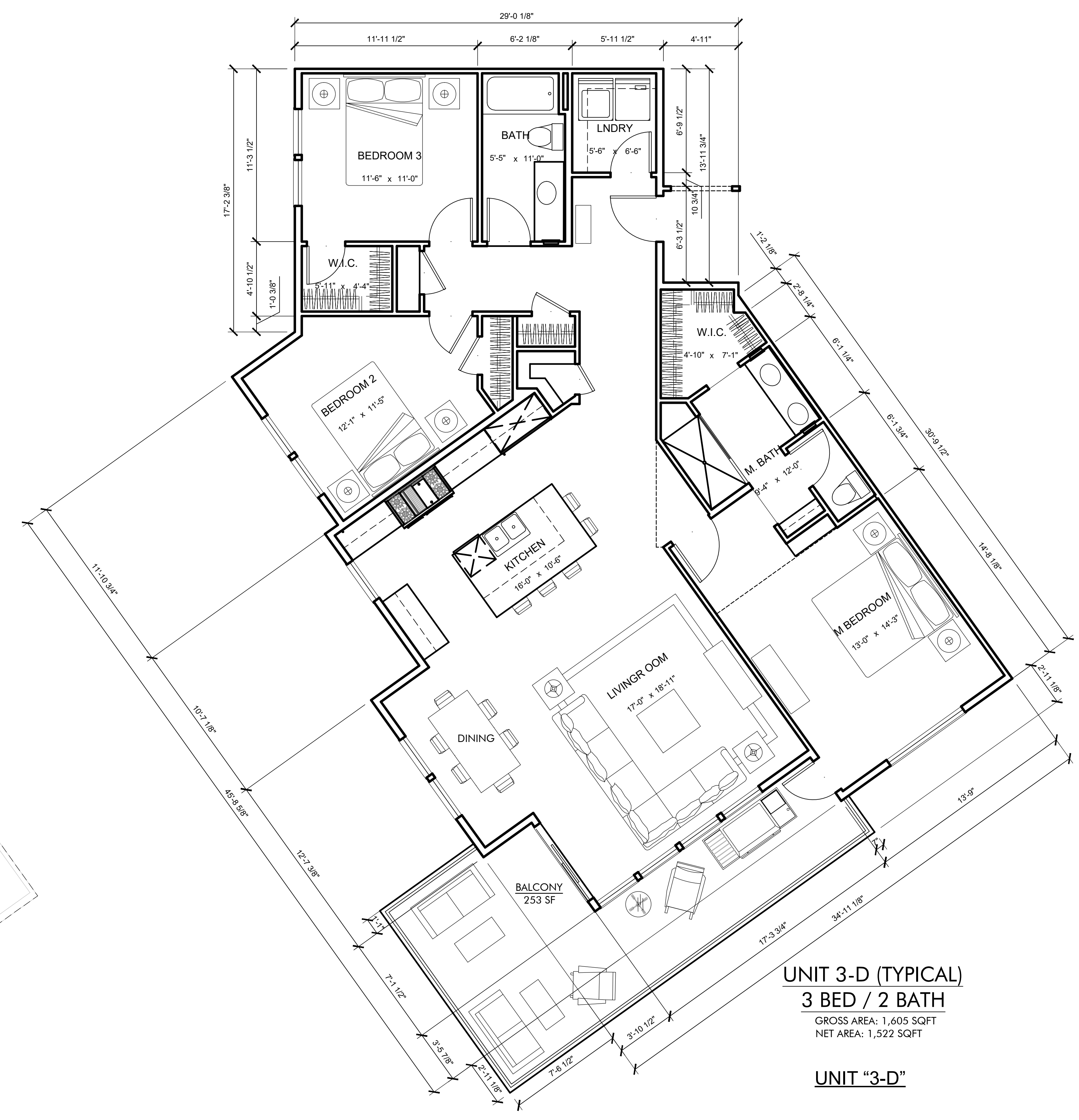
3 BEDROOM UNIT PLANS



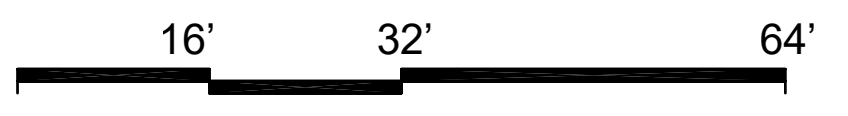
UNIT 3-D-1 MEZZANINE



UNIT 3-D-1
3 BED / 2 BATH
GROSS AREA: 1,605+275=1880 SQFT
NET AREA: 1,522+254=1776 SQFT
UNIT "3-D" VARIATION



UNIT 3-D (TYPICAL)
3 BED / 2 BATH
GROSS AREA: 1,605 SQFT
NET AREA: 1,522 SQFT
UNIT "3-D"



PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

Block 29		2019														
Unit	Floor										Total	Unit Mix	Parking reqt	Parking reqd		
	-2	-1	1	2	3	4	5									
	+356'-6"	+367'	+379'	+389'-4"	+399'-8"	+410'	+420'-4"									
1 BR			2	4	4	4	4				18	14.8%	1.25	22.5		
2 BR		4	15	14	14	14	14				75	61.5%	1.7	127.5		
3 BR			5	6	6	6	6				29	23.8%	2	58		
Total			22	24	24	24	24				122 Units			208.0	30.5 bike parking required	
Parking	118	90													122 5'x5' storage units	
															1 bike spaces/unit	
Amenity concept:	Amenity (net sf)		1369							1,369 Net sf Amenity						
Landscaped courtyard	Commercial (net sf)									0 Net sf Comm'l		500	0.0			
Common amenity space																
	208 spaces provided in garage															
	36 spaces provided on street															
	244 Total Spaces Provided															208.0 Total spaces required
																5 min access. Parking
																21 min EV Parking
																7 to CalGreen req'ts

Block 30		2019														
Unit	Floor										Total	Unit Mix	Parking reqt	Parking reqd		
	-2	-1	1	2	3	4	5									
	+356'-6"	+367"	+379'	+389'-4"	+399'-8"	+410'	+420'-4"									
1 BR			4	4	4	4	4				20	18.3%	1.25	25		
2 BR			13	13	13	13	13				66	60.6%	1.7	112.2		
3 BR			4	4	4	4	4				23	21.1%	2	46		
Total			21	21	21	21	21				109 Units			183.2	27.3 bike parking required	
Parking	134	50													109 5'x5' storage units	
															1 bike spaces/unit	
Amenity concept:	Amenity (net sf)		2742							2,742 Net sf Amenity						
Landscaped courtyard	Commercial (net sf)									0 Net sf Comm'l		500	0.0			
Common amenity space																
	184 spaces provided in garage															
	13 spaces provided on street															
	197 Total Spaces Provided															183.2 Total spaces required
																4 min access. Parking
																19 min EV Parking
																6 to CalGreen req'ts

Block 31		2017														
Unit	Floor										Total	Unit Mix	Parking reqt	Parking reqd		
	-3	-2	-1	1	2	3	4	5								
	+343'-6"-346'	+357'-6"	+368'	+376'-381'-6"	+394'	+404'-2"	+414'-4"	+424'-6"								
STU				4	4	4	4				16	13.8%	1.25	20		
1 BR			13	16	16	16	16				70	60.3%	1.25	87.5		
2 BR		1	2	3	7	7	7				30	25.9%	1.7	51		
Total			16	27	27	27	15				116 Units			158.5	29.0 bike parking required	
Parking	29	64	104												30 bike parking provided	
															0.26 bike spaces/unit	
Amenity concept:	Amenity (net sf)		4887							4,887 Net sf Amenity						
Landscaped courtyard	Commercial (net sf)		6874							11,477 Net sf Comm'l		500	23.0			
Community room																
Resident Storage																
Community Bike Repair Room																
	168 res spaces in garage															
	29 com spaces in garage															
	19 spaces provided on street															
	216 Total Spaces Provided															181.5 Total spaces required
																4 min access. Parking
																17 min (res) EV Parking
																6 to CalGreen req'ts

Block 32		2017														
Unit	Floor										Total	Unit Mix	Parking reqt	Parking reqd		
	-1	1	2	3	4	5	6									
	+370'-6"	+377'-81"	+393'	+403'-2"	+413'-4"	+423'-6"	+433'-8"									
STU			3	3	3	3	3				16	10.1%	1.25	20		
1 BR			17	18	18	18	18				94	59.5%	1.25	117.5		
2 BR			8	10	10	10	10				48	30.4%	1.7	81.6		
Total			28	31	31	31	31				158 Units			219.1	39.5 bike parking required	
Parking	153	73													40 bike parking provided	
															0.25 bike spaces/unit	
Amenity concept:	Amenity (net sf)		2975							5,255 Net sf Amenity						
Courtyard with Bocce courts	Commercial (net sf)		4466							19,419 Net sf Comm'l		500	38.8			
Community room																
Resident Storage																
Wifi Lounge																
Park-facing roof gardens																
	226 spaces provided in garage															
	32 spaces provided on street															
	258 Total Spaces Provided															257.9 Total spaces required
																5 min access. Parking
																23 min EV Parking
																7 to CalGreen req'ts

OVERALL DEVELOPMENT SUMMARY				
	Parcel size		Unit count	
	sf	ac		
Block 29	57,905	1.33	122	91.8 du/acre
Block 30	69,777	1.60	109	68.0 du/acre
Block 31	65,959	1.51	116	76.6 du/acre
	75,116	1.72	158	91.6 du/acre
Total	268,756	6.17 acres	505	81.9 du/acre

30,896 Net sf Comm'l
14,253 Net sf Amenity

Unit Summary (Overall)				
STU	Count	Percentage	Garage	On Street
1 BR	32	6.3%		
2 BR	202	40.0%		
3 BR	219	43.4%		
3 BR	52	10.3%		
Total	505			

Parking Summary (Overall)			
	Provided	Required	
Garage	815	Res	771
On Street	100	Comm	62
Total	915		833



PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	
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DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

DEVELOPMENT SUMMARY
UNIT COUNT AND PARKING
NET BUILDING AREA

TOTAL:	1,031,944	349,125	682,819	633,731	510,224
---------------	------------------	----------------	----------------	----------------	----------------

Units	Parking	Commercial	Amenity
505	812	32,873	16,215

Floor level	Floor elevation	Building Type	Total Building Area (gr sq ft)	Garage Area (gr sq ft)	Total Non-Garage Area (gr sq ft)	Total Residential Building Area (R-2) (gr sq ft)	Total Lobby Area (gr sq ft)	Total Balcony Area (gr sq ft)	Total Corridor Area (gr sq ft)	Total Gross Unit Area (sq ft)
(per code interpretation as "Story above grade plane")	(per drawing annotation; *FACP Level)	(ft)			Excluding garage (S-2)	Including lobbies, units, corridors and circulation Excluding garage (S-2) retail (M) and amenity (B)				

Block 29 (A.G.P. = 368.75')

Floor level	Floor elevation	Building Type	Total Building Area (gr sq ft)	Garage Area (gr sq ft)	Total Non-Garage Area (gr sq ft)	Total Residential Building Area (R-2) (gr sq ft)	Total Lobby Area (gr sq ft)	Total Balcony Area (gr sq ft)	Total Corridor Area (gr sq ft)	Total Gross Unit Area (sq ft)	Units	Parking	Commercial	Amenity
Basement	Level -2	Type IA	50,454	49,305	1,149	1,149	657		492	0	0	118	0	0
First story	Level -1	Type IA	49,105	41,346	7,759	7,759	433	203	2,822	4,504	4	90	0	0
Second story	*Level 1	Type IIIA	33,608		33,608	31,254	597	2,277	4,216	26,441	22		0	2354
Third story	Level 2	Type IIIA	33,567		33,567	33,567		2,767	5,759	27,808	24		0	0
Fourth story	Level 3	Type IIIA	33,567		33,567	33,567		2,767	5,759	27,808	24		0	0
Fifth story	Level 4	Type IIIA	33,567		33,567	33,567		2,767	5,759	27,808	24		0	0
Sixth story	Level 5	Type IIIA	35,727		35,727	35,727		2,767	5,759	29,203	24		0	0
			269,595	90,651	178,944	176,590	1,687	13,345	30,566	143,572	122	208	0	2,354

Block 30 (A.G.P. = 363.58')

Floor level	Floor elevation	Building Type	Total Building Area (gr sq ft)	Garage Area (gr sq ft)	Total Non-Garage Area (gr sq ft)	Total Residential Building Area (R-2) (gr sq ft)	Total Lobby Area (gr sq ft)	Total Balcony Area (gr sq ft)	Total Corridor Area (gr sq ft)	Total Gross Unit Area (sq ft)	Units	Parking	Commercial	Amenity
First story	Level -2	Type IA	55,082	54,914	168	168	168		0	0	0	134	0	0
Second story	Level -1	Type IA	40,170	26,662	13,508	10,435	916	869	2,839	6,680	4	50	0	3073
Third story	*Level 1	Type IIIA	29,931		29,931	29,931	697	2,121	4,801	24,433	21		0	0
Fourth story	Level 2	Type IIIA	29,732		29,732	29,732		2,215	5,299	24,433	21		0	0
Fifth story	Level 3	Type IIIA	29,732		29,732	29,732		2,215	5,299	24,433	21		0	0
Sixth story	Level 4	Type IIIA	29,732		29,732	29,732		2,215	5,299	24,433	21		0	0
Seventh story	Level 5	Type IIIA	32,751		32,751	32,751		2,215	5,299	25,805	21		0	0
			247,130	81,576	165,554	162,481	1,781	10,981	28,836	130,217	109	184	0	3,073

Block 31 (A.G.P. = 361.22')

Floor level	Floor elevation	Building Type	Total Building Area (gr sq ft)	Garage Area (gr sq ft)	Total Non-Garage Area (gr sq ft)	Total Residential Building Area (R-2) (gr sq ft)	Total Lobby Area (gr sq ft)	Total Balcony Area (gr sq ft)	Total Corridor Area (gr sq ft)	Total Gross Unit Area (sq ft)	Units	Parking	Commercial	Amenity
First story	Level -3	Type IA / VA	25,538	17,337	8,201	786	468		318	0	0	29	7,415	0
Second story	Level -2	Type IA	32,577	28,912	3,665	2,947	816	99	1,005	1,126	1	64	718	0
Third story	Level -1	Type IA	45,333	40,844	4,489	4,489	765	268	809	2,915	3	104	0	0
Fourth story	*Level 1	Type IIIA	29,499		29,499	19,803	972	1,417	4,645	14,186	16		4,486	5210
Fifth story	Level 2	Type IIIA	28,215		28,215	28,215		2,354	5,002	23,213	27		0	0
Sixth story	Level 3	Type IIIA	28,215		28,215	28,215		2,354	5,002	23,213	27		0	0
Seventh story	Level 4	Type IIIA	28,215		28,215	28,215		2,354	5,002	23,213	27		0	0
Eighth story	Level 5	Type IIIA	14,792		14,792	14,792		1,306	2,713	12,079	15		0	0
			232,384	87,093	145,291	127,462	3,021	9,785	24,496	99,945	116	197	12,619	5,210

Block 32 (A.G.P. = 379.75')

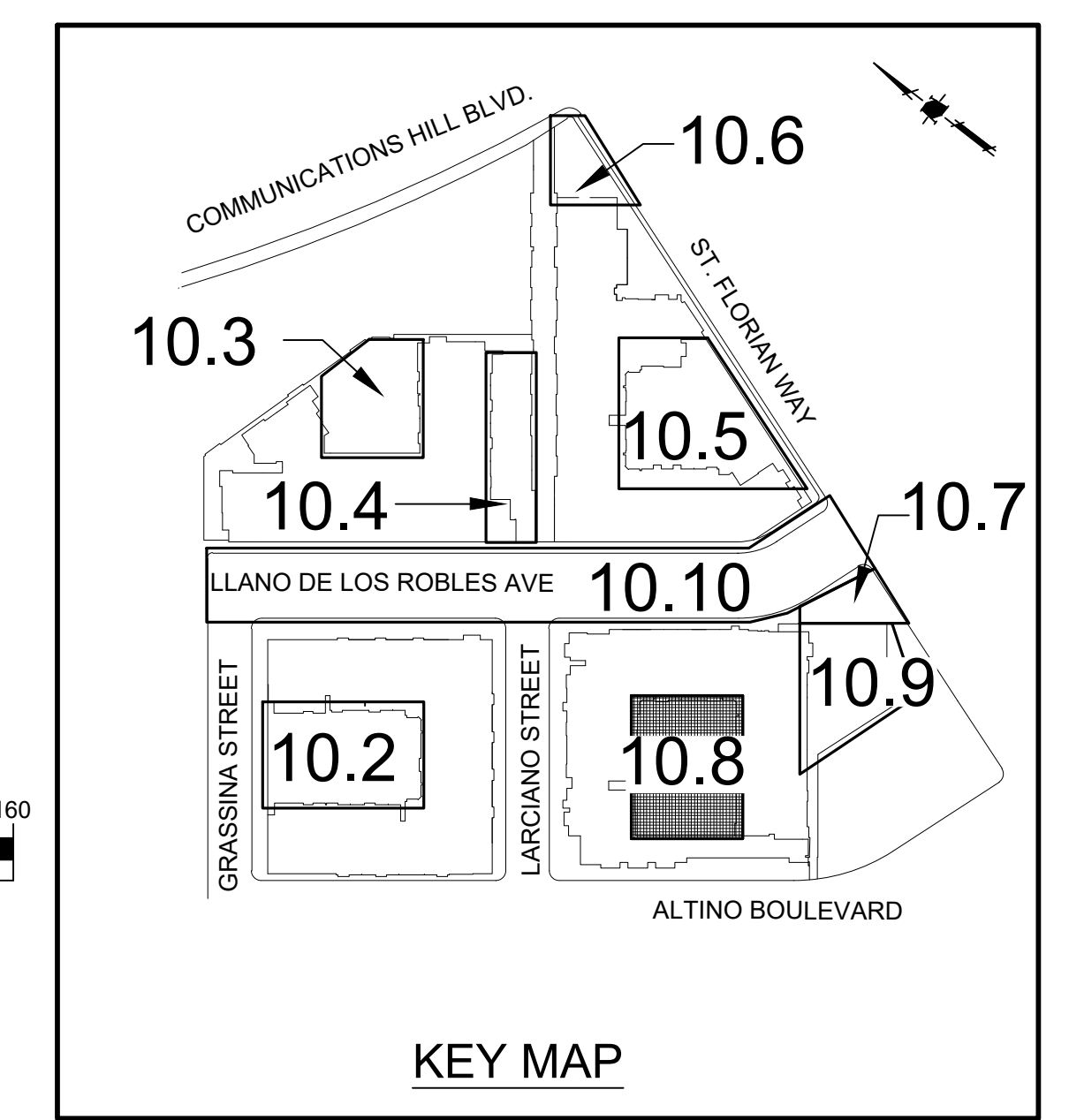
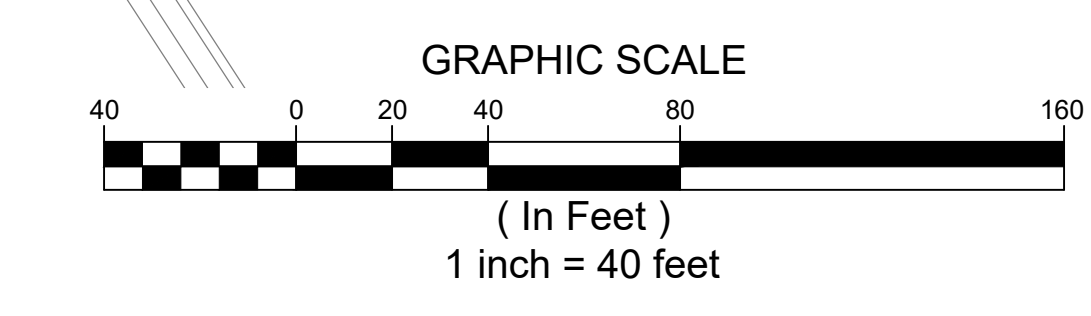
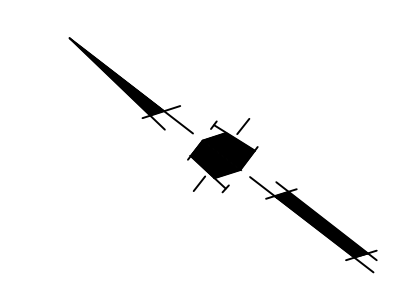
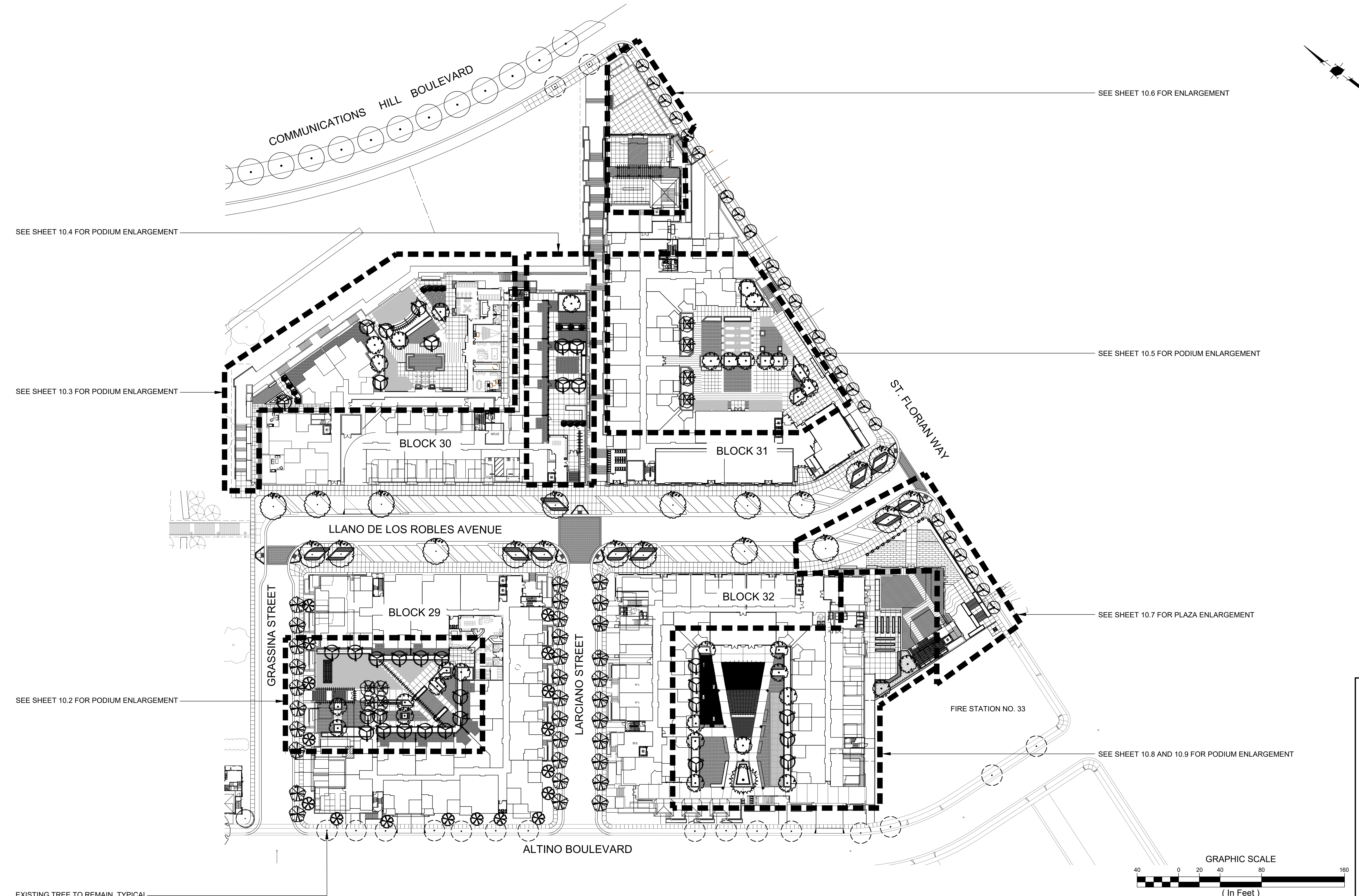
Floor level	Floor elevation	Building Type	Total Building Area (gr sq ft)	Garage Area (gr sq ft)	Total Non-Garage Area (gr sq ft)	Total Residential Building Area (R-2) (gr sq ft)	Total Lobby Area (gr sq ft)	Total Balcony Area (gr sq ft)	Total Corridor Area (gr sq ft)	Total Gross Unit Area (sq ft)	Units	Parking	Commercial	Amenity
Basement	Level -1	Type IA	62,840	57,004	5,836	1,171	547		624	0	0	154	4,665	0
First story	*Level 1	Type IA	60,386	32,801	27,585	9,997	2,668	1,093	2,729	4,600	6	69	15,226	2362
Second story	Level 2	Type IIIA	32,321		32,321	28,742		2,022	4,696	24,046	28		363	3216
Third story	Level 3	Type IIIA	31,822		31,822	31,822		2,386	4,861	26,961	31		0	0
Fourth story	Level 4	Type IIIA	31,822		31,822	31,822		2,386	4,861	26,961	31		0	0
Fifth story	Level 5	Type IIIA	31,822		31,822	31,822		2,386	4,861	26,961	31		0	0
Sixth story	Level 6	Type IIIA	31,822		31,822	31,822		2,386	4,861	26,961	31		0	0
			282,835	89,805	193,030	167,198	3,215	11,566	27,493	136,490	158	223	20,254	5,578



PLANNED DEVELOPMENT PERMIT AMENDMENT PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	
CAD DWG FILE:	
DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	APRIL 10, 2017
SCALE:	

DEVELOPMENT SUMMARY
CONSTRUCTION TYPE
GROSS BUILDING AREA

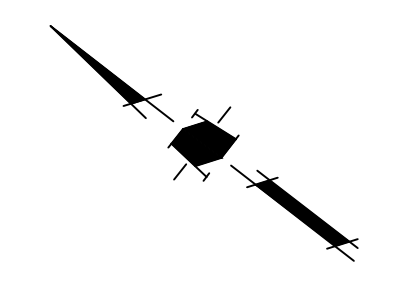


**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER**

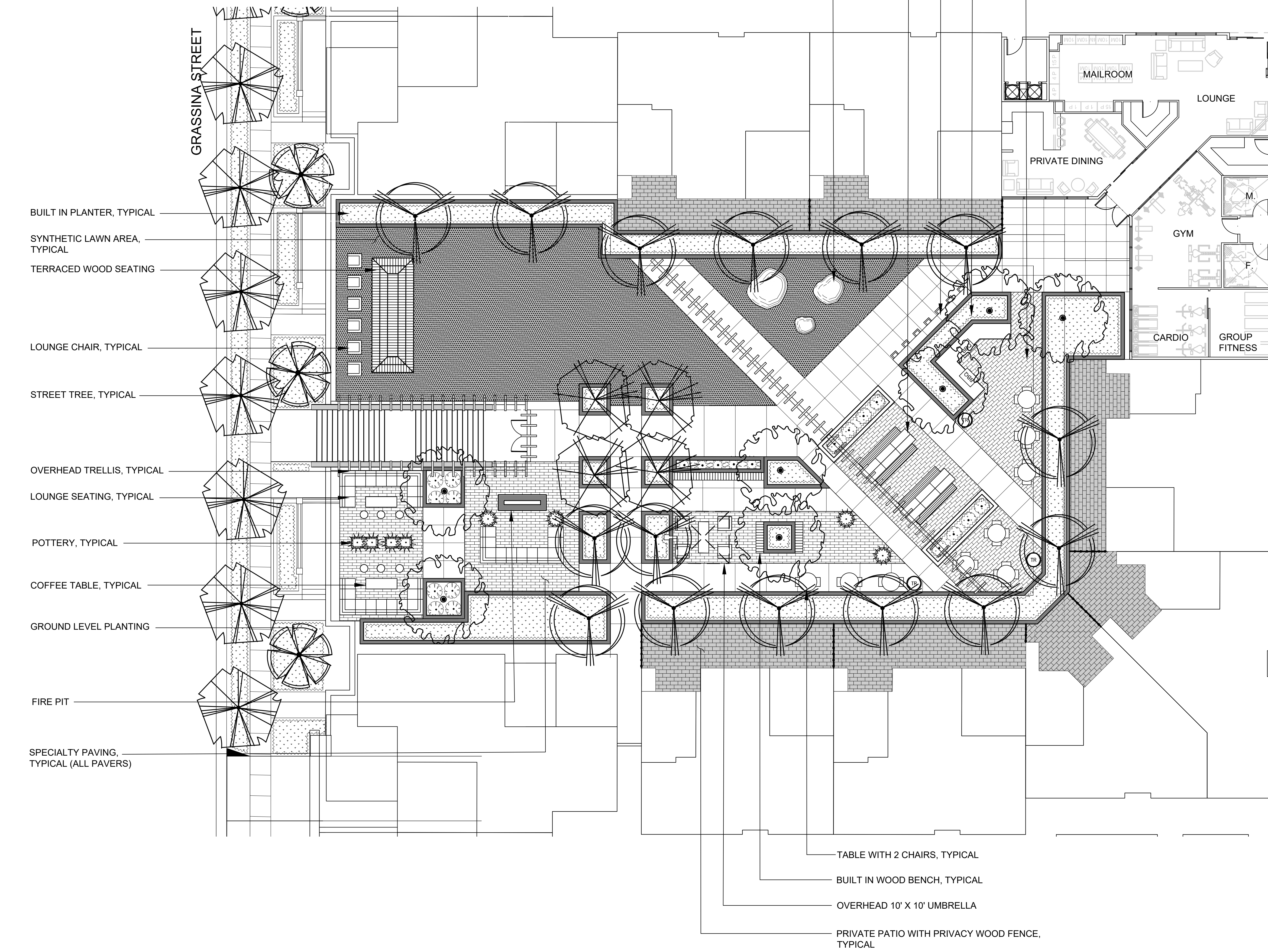
PROJECT NO:	3636.70	
CAD DWG FILE:	363674 CL PH3.DWG	
DESIGNED BY:	LS	
DRAWN BY:	KY	
CHECKED BY:	CM	
DATE:	APRIL 10, 2017	
SCALE:	1" = 40'	
NO	DATE	DESCRIPTION
0124/20		PER CITY COMMENTS
08/09/19		PER CITY COMMENTS

OVERALL - LANDSCAPE PLAN

10.1



- TABLE WITH 4 CHAIRS, TYPICAL
- BUILT IN BARBEQUE AND COUNTER
- COUNTER SEATING, TYPICAL
- LARGE COMMUNITY TABLE, TYPICAL
- PLAY BOULDERS, TYPICAL



- BUILT IN PLANTER, TYPICAL
- SYNTHETIC LAWN AREA, TYPICAL
- TERRACED WOOD SEATING
- LOUNGE CHAIR, TYPICAL
- STREET TREE, TYPICAL
- OVERHEAD TRELLIS, TYPICAL
- LOUNGE SEATING, TYPICAL
- POTTERY, TYPICAL
- COFFEE TABLE, TYPICAL
- GROUND LEVEL PLANTING
- FIRE PIT
- SPECIALTY PAVING, TYPICAL (ALL PAVERS)

- TABLE WITH 2 CHAIRS, TYPICAL
- BUILT IN WOOD BENCH, TYPICAL
- OVERHEAD 10' X 10' UMBRELLA
- PRIVATE PATIO WITH PRIVACY WOOD FENCE, TYPICAL



TERRACED WOOD SEATING



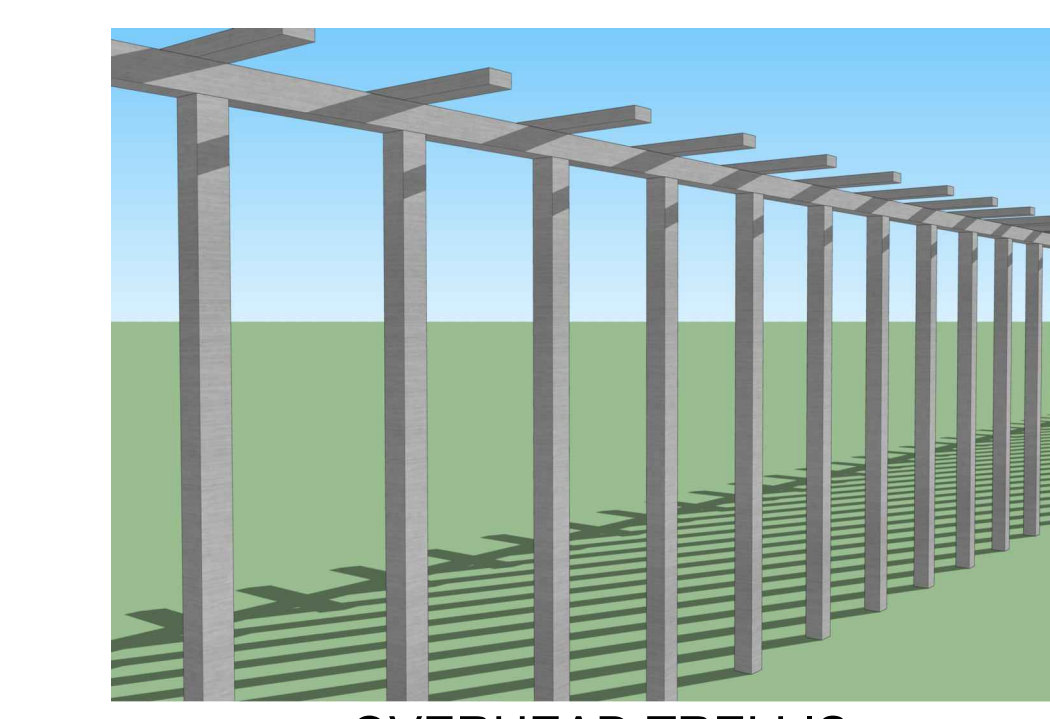
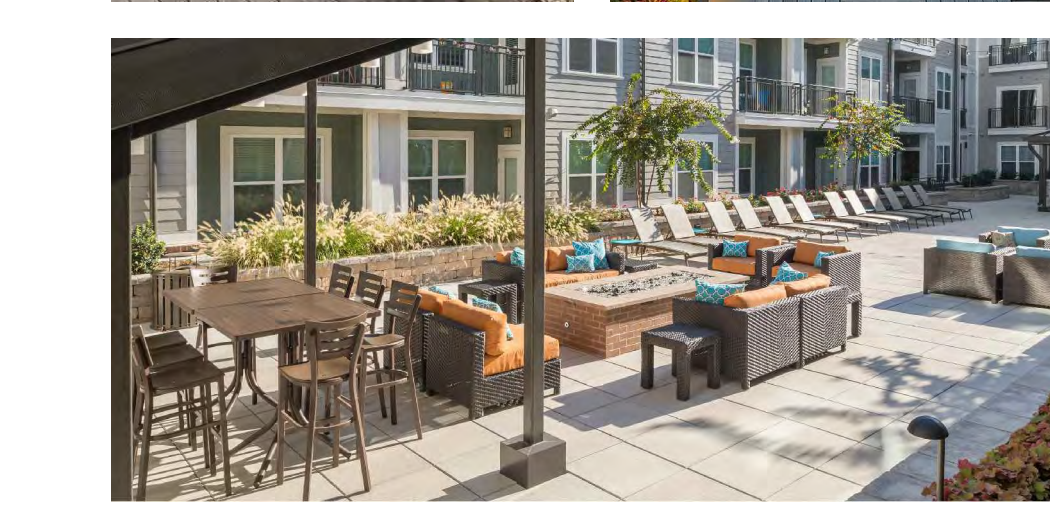
PLAY BOULDERS



SITE FURNISHINGS



POTTERY



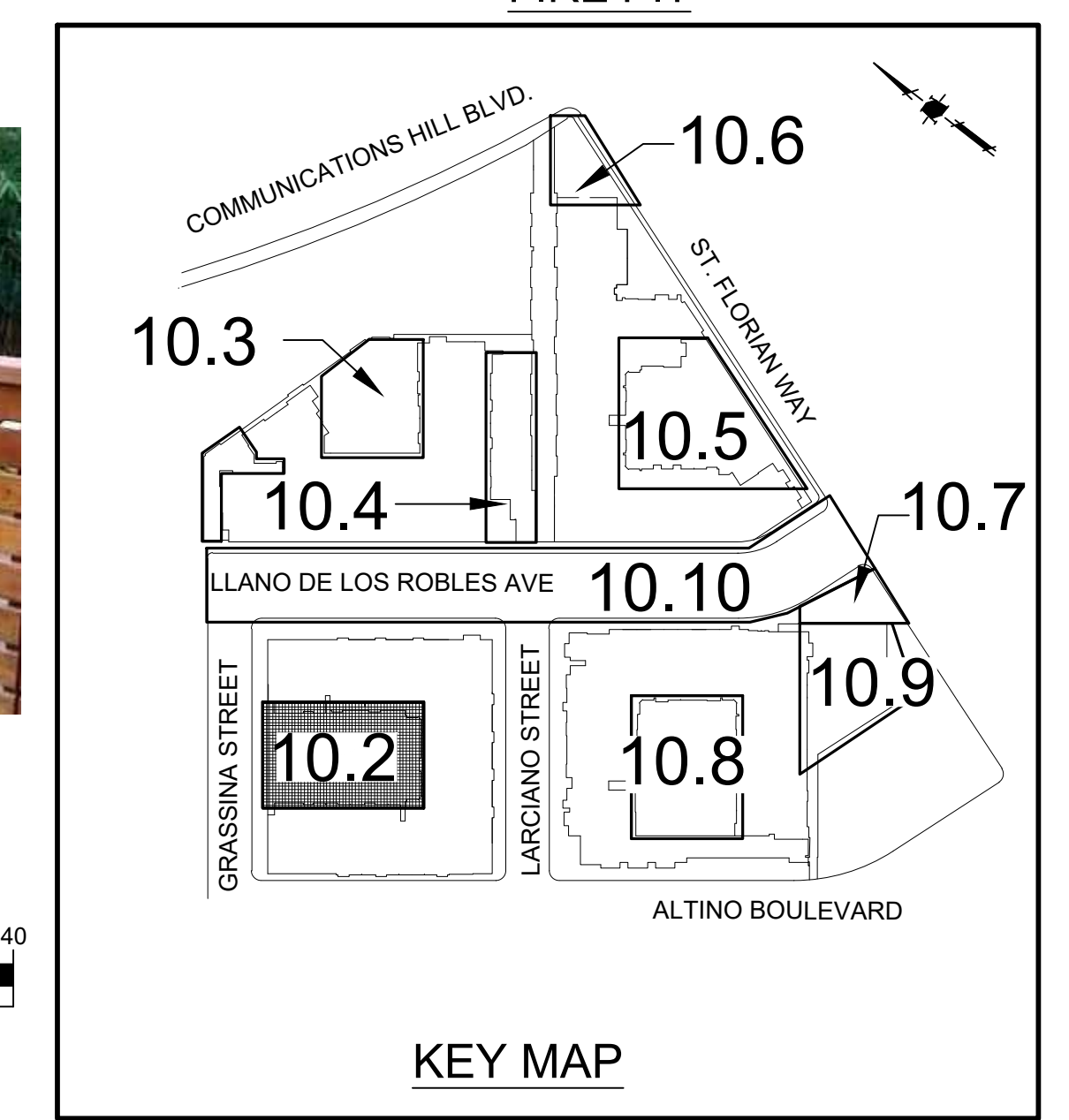
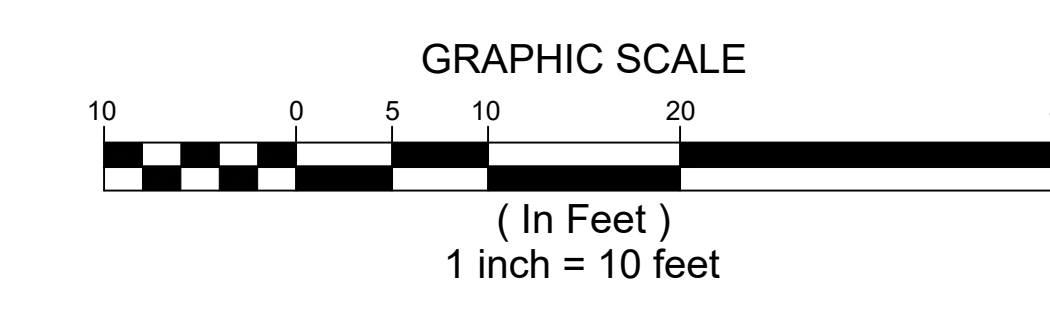
OVERHEAD TRELLIS



FIRE PIT



PRIVACY WOOD FENCE

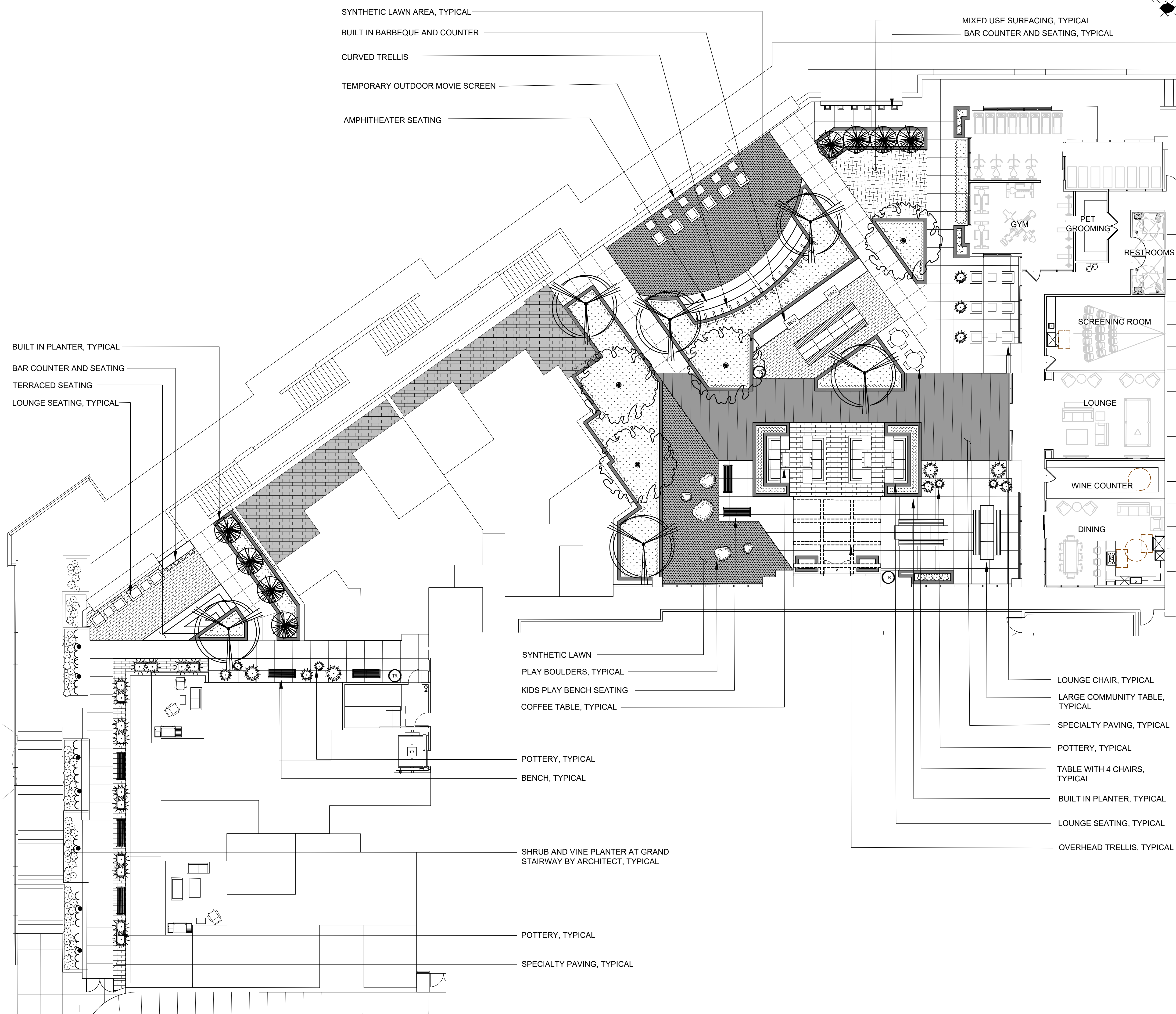


KEY MAP



**PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05**
COMMUNICATIONS HILL - VILLAGE CENTER

PROJECT NO:	3636.70
CAD DWG FILE:	363674 CL PH3.DWG
DESIGNED BY:	LS
DRAWN BY:	KY
CHECKED BY:	CM
DATE:	APRIL 10, 2017
SCALE:	1" = 10'



AMPHITHEATER SEATING AND CURVED TRELLIS



OUTDOOR MOVIE SCREEN



BUILT IN BARBEQUE AND COUNTER



BUILT IN PLANTERS



MIXED USE SURFACING



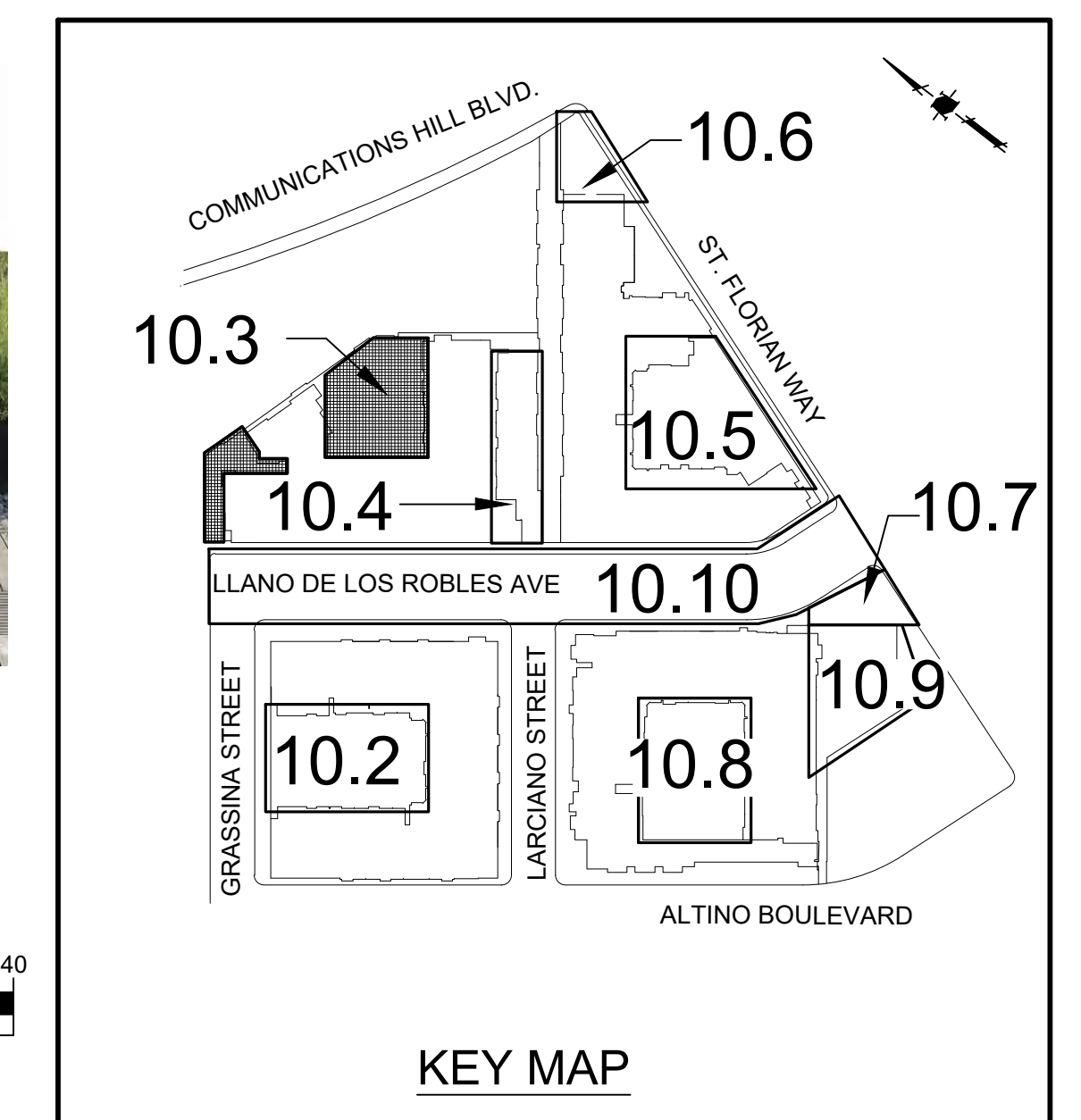
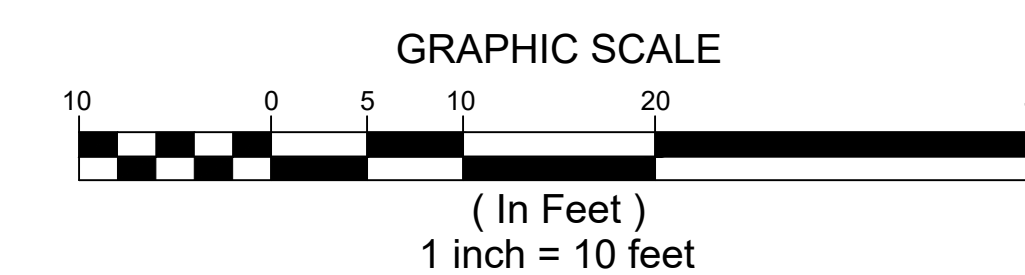
SITE FURNISHINGS



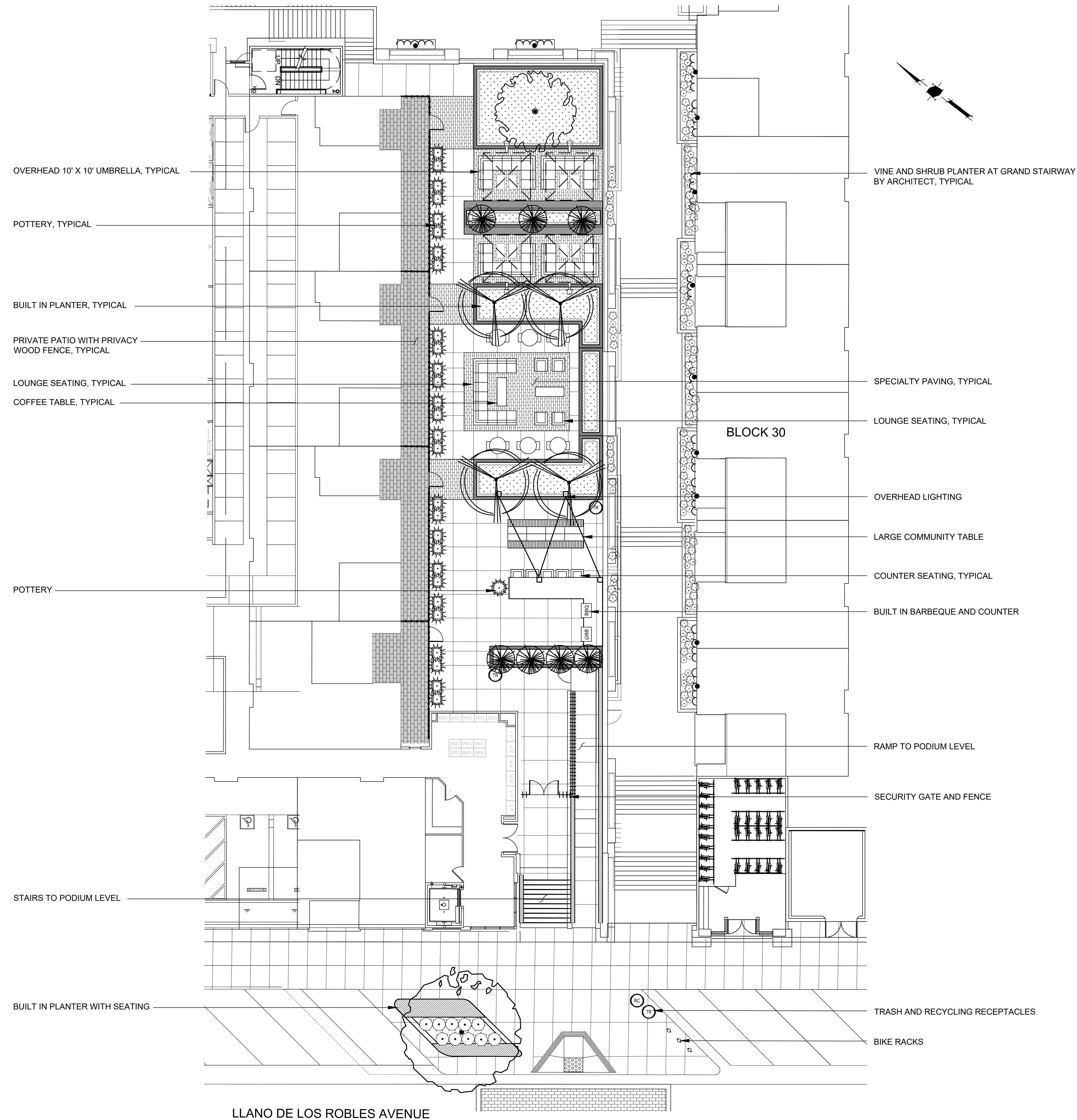
SYNTHETIC LAWN



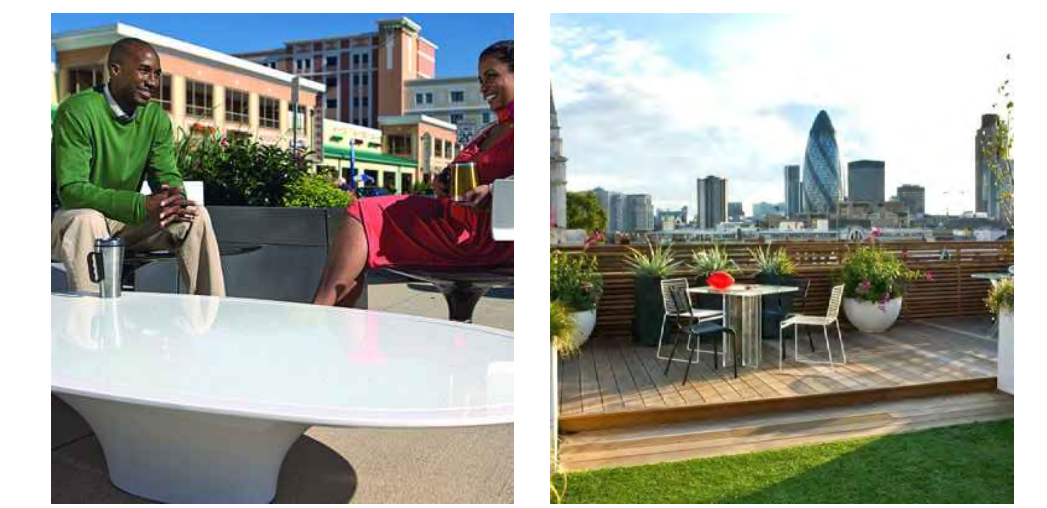
POTTERY



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CAD DWG FILE:	363674 CL PH3.DWG
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SCALE:	1" = 10'



BUILT IN PLANTER



SITE FURNISHINGS



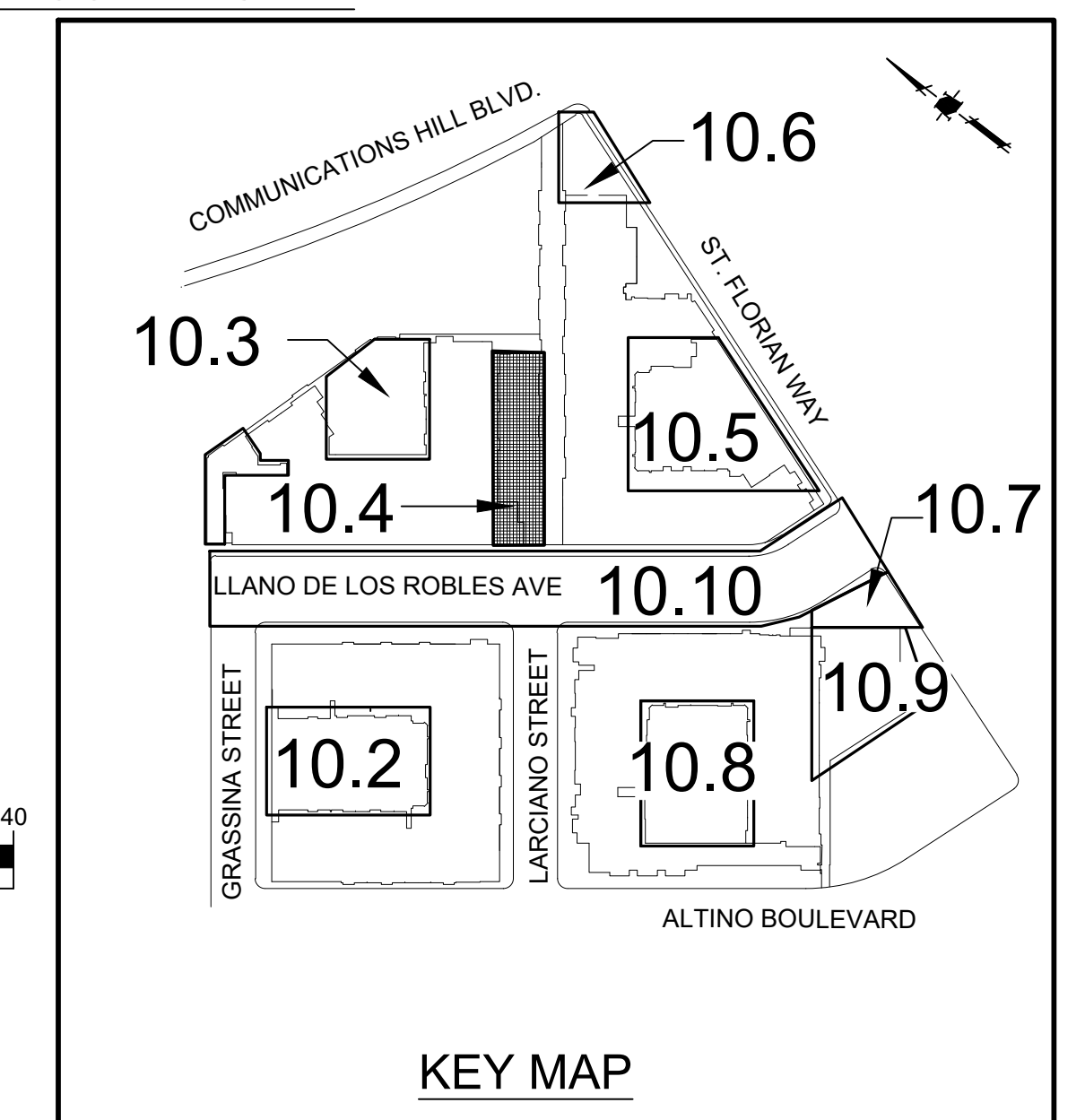
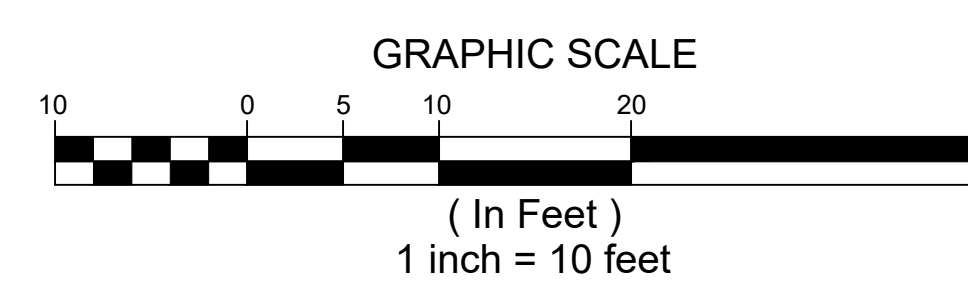
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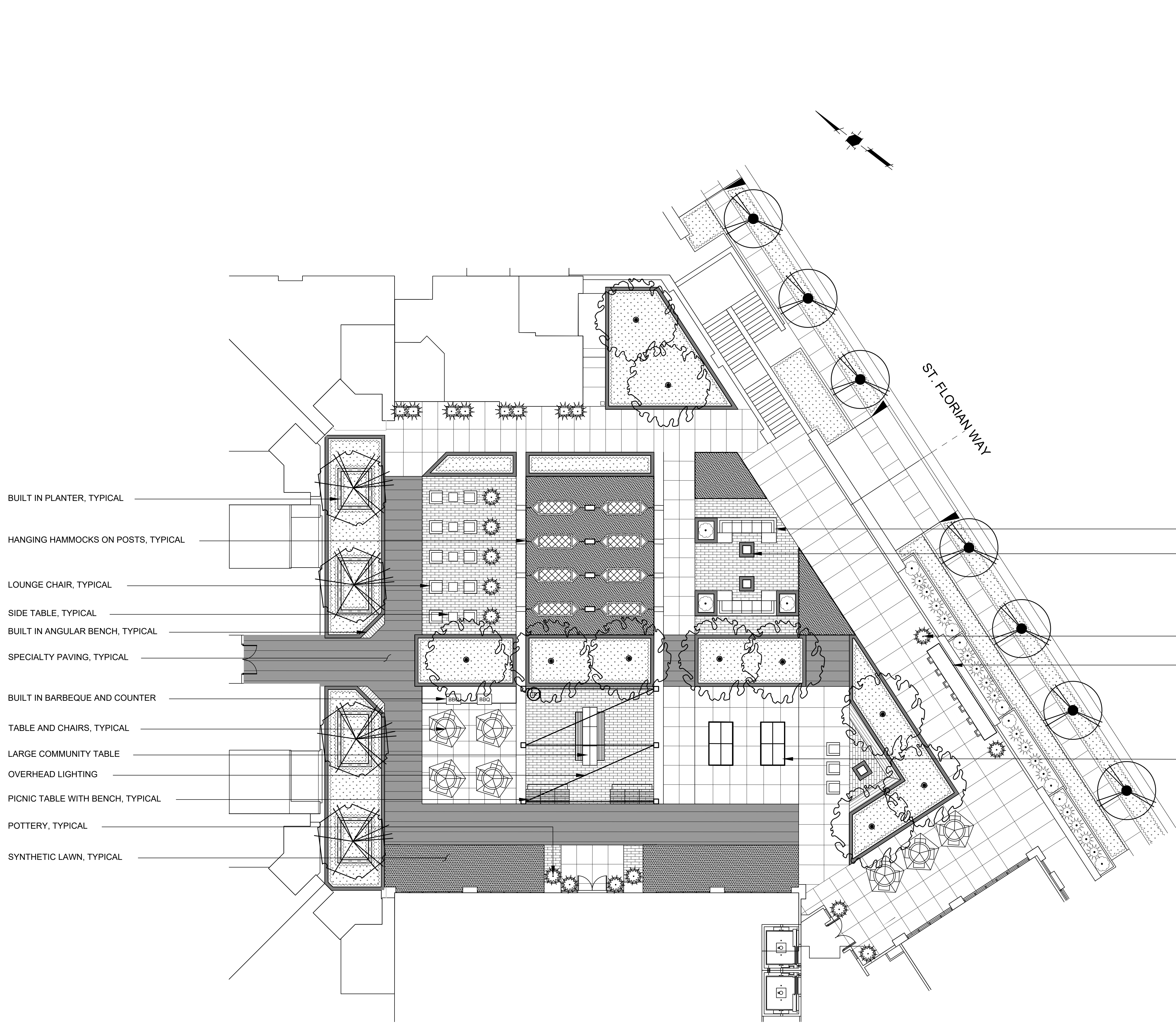


BUILT IN BARBEQUE AND COUNTER



OUTDOOR KITCHEN



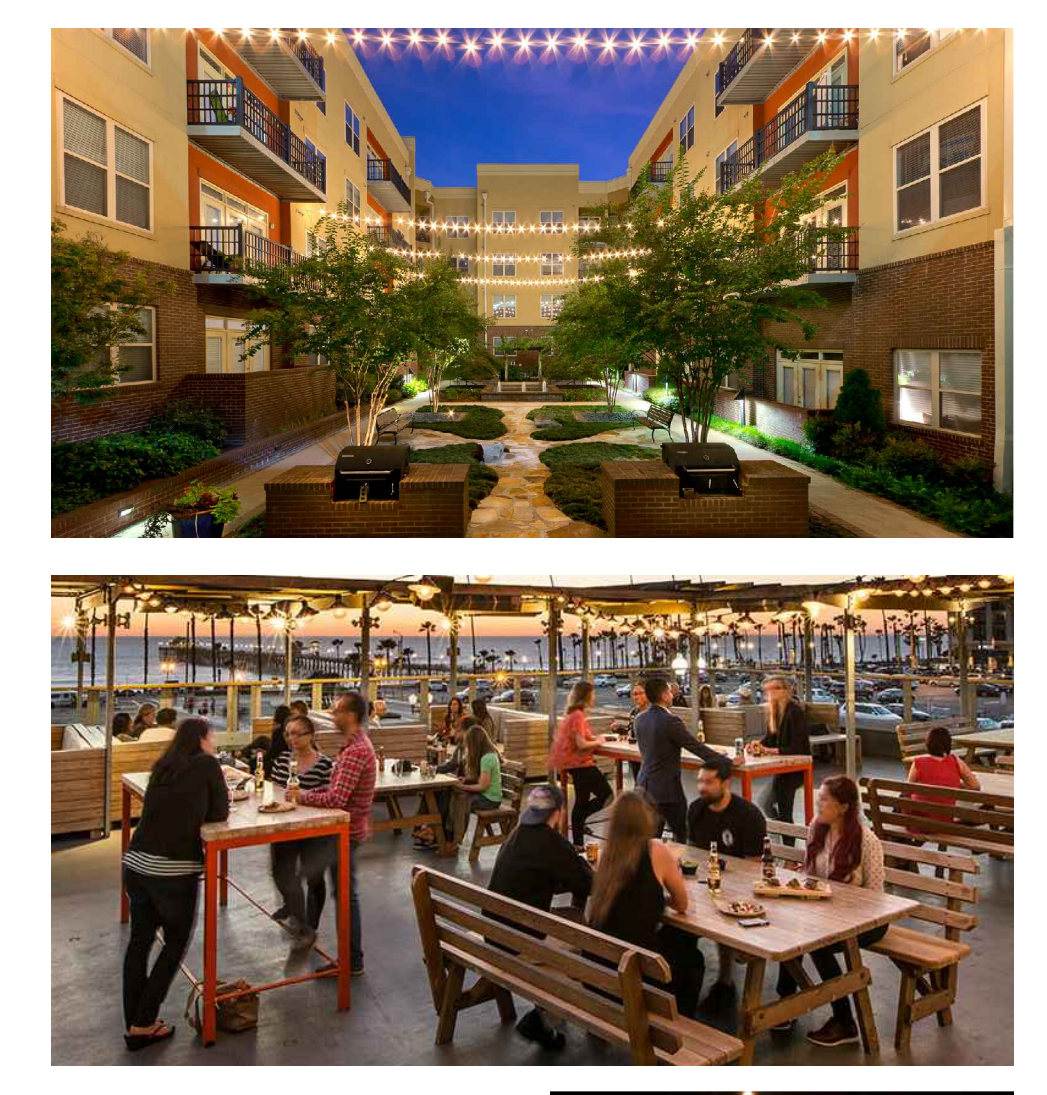


- BUILT IN PLANTER, TYPICAL
- HANGING HAMMOCKS ON POSTS, TYPICAL
- LOUNGE CHAIR, TYPICAL
- SIDE TABLE, TYPICAL
- BUILT IN ANGULAR BENCH, TYPICAL
- SPECIALTY PAVING, TYPICAL
- BUILT IN BARBEQUE AND COUNTER
- TABLE AND CHAIRS, TYPICAL
- LARGE COMMUNITY TABLE
- OVERHEAD LIGHTING
- PICNIC TABLE WITH BENCH, TYPICAL
- POTTERY, TYPICAL
- SYNTHETIC LAWN, TYPICAL

- LOUNGE SEATING, TYPICAL
- DECORATIVE FIRE PIT, TYPICAL
- POTTERY, TYPICAL
- BAR COUNTER AND SEATING, TYPICAL
- PING PONG TABLE, TYPICAL



FIRE PIT



SITE FURNISHINGS



BUILT IN PLANTERS



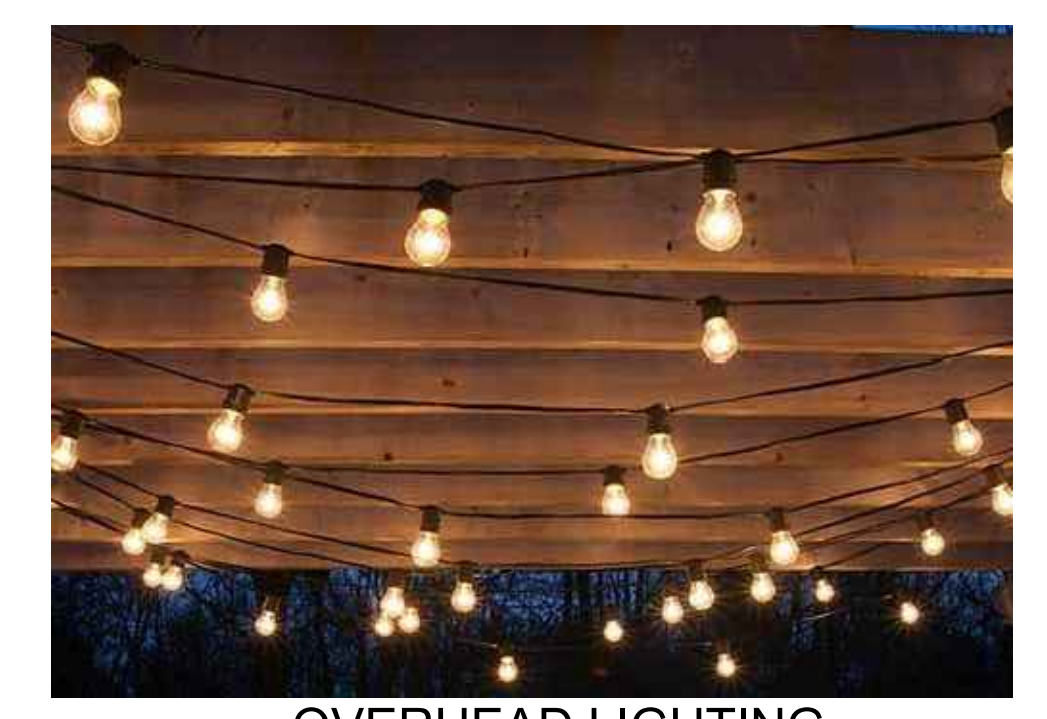
HANGING HAMMOCKS



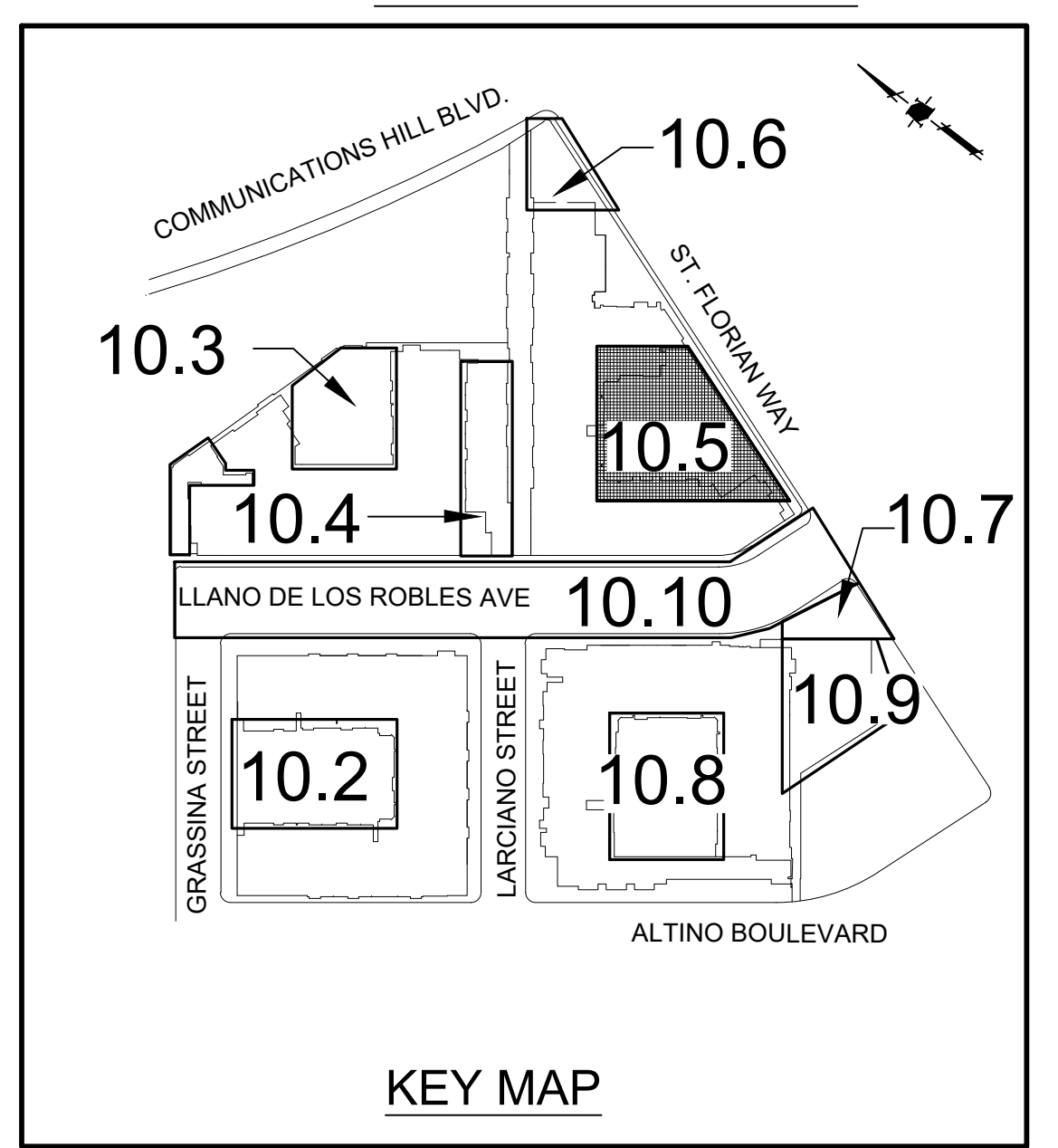
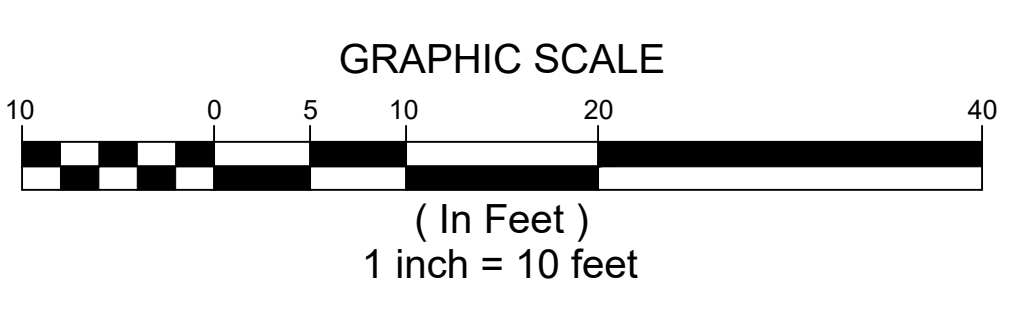
POTTERY



PING PONG TABLES



OVERHEAD LIGHTING

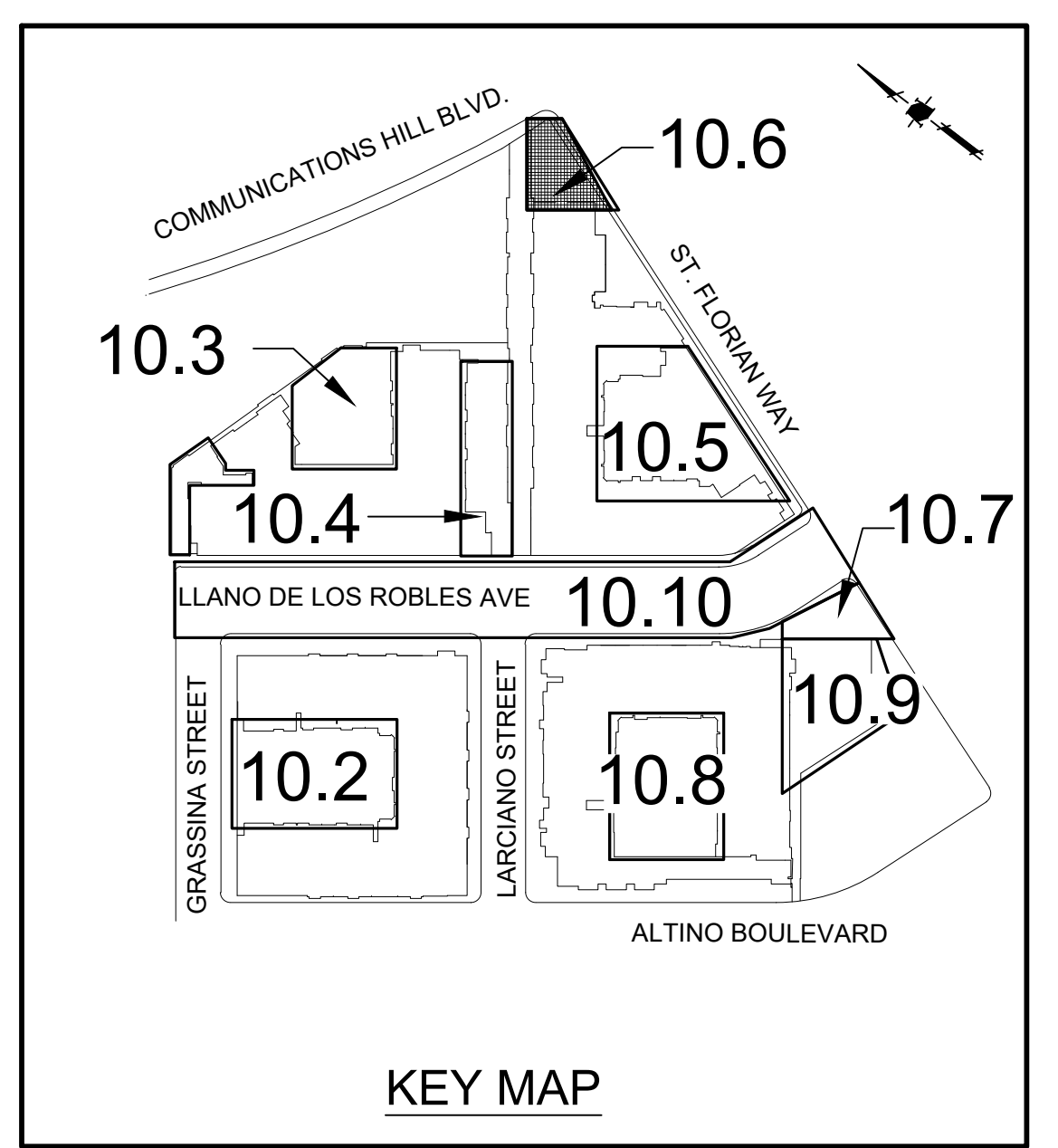
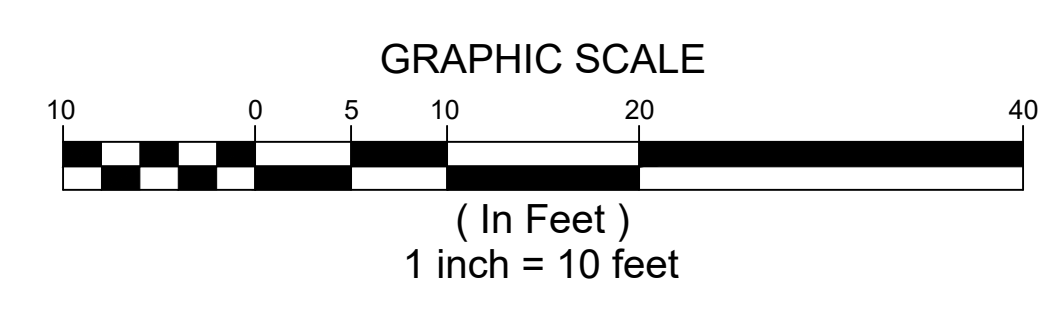
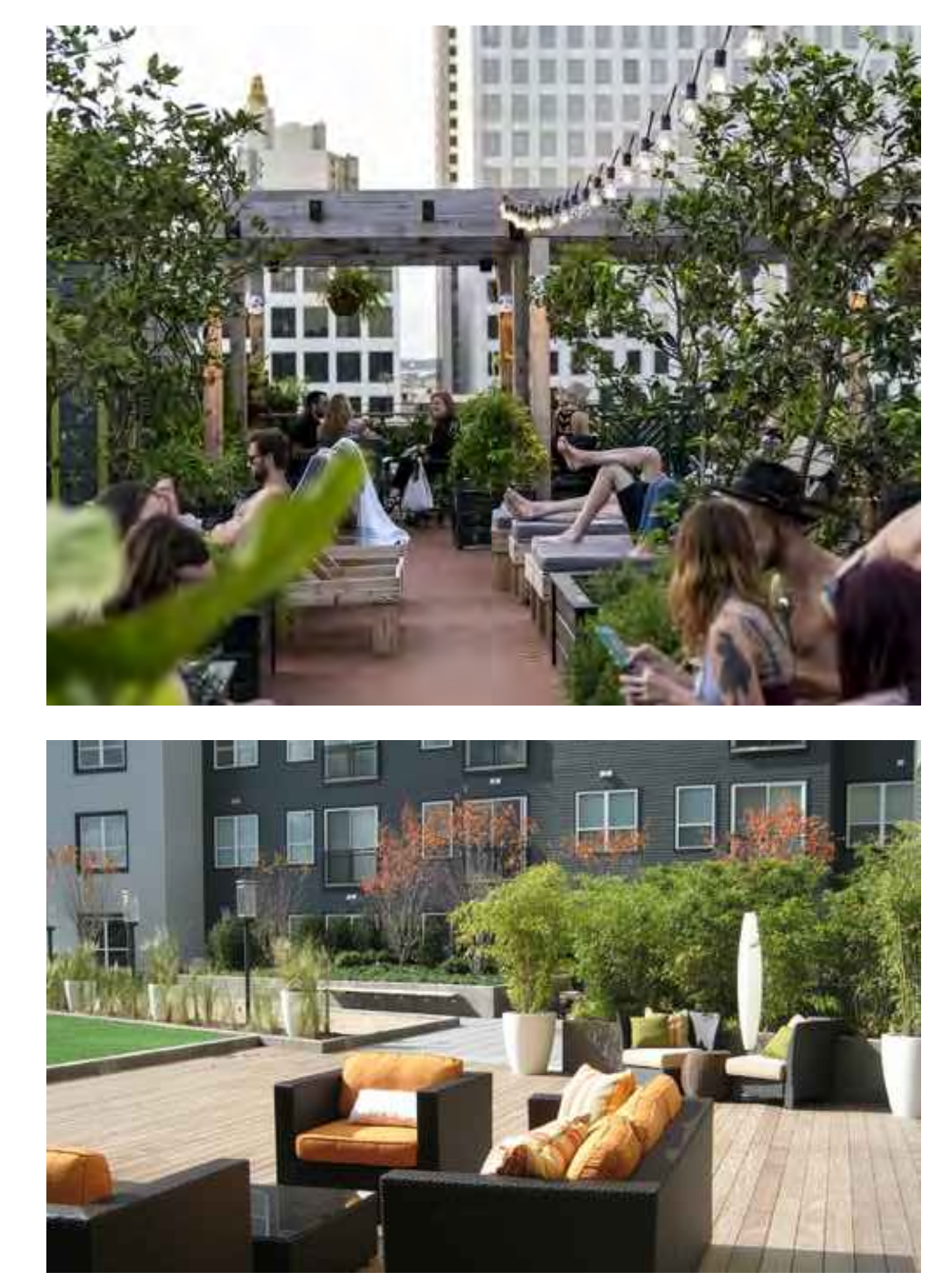
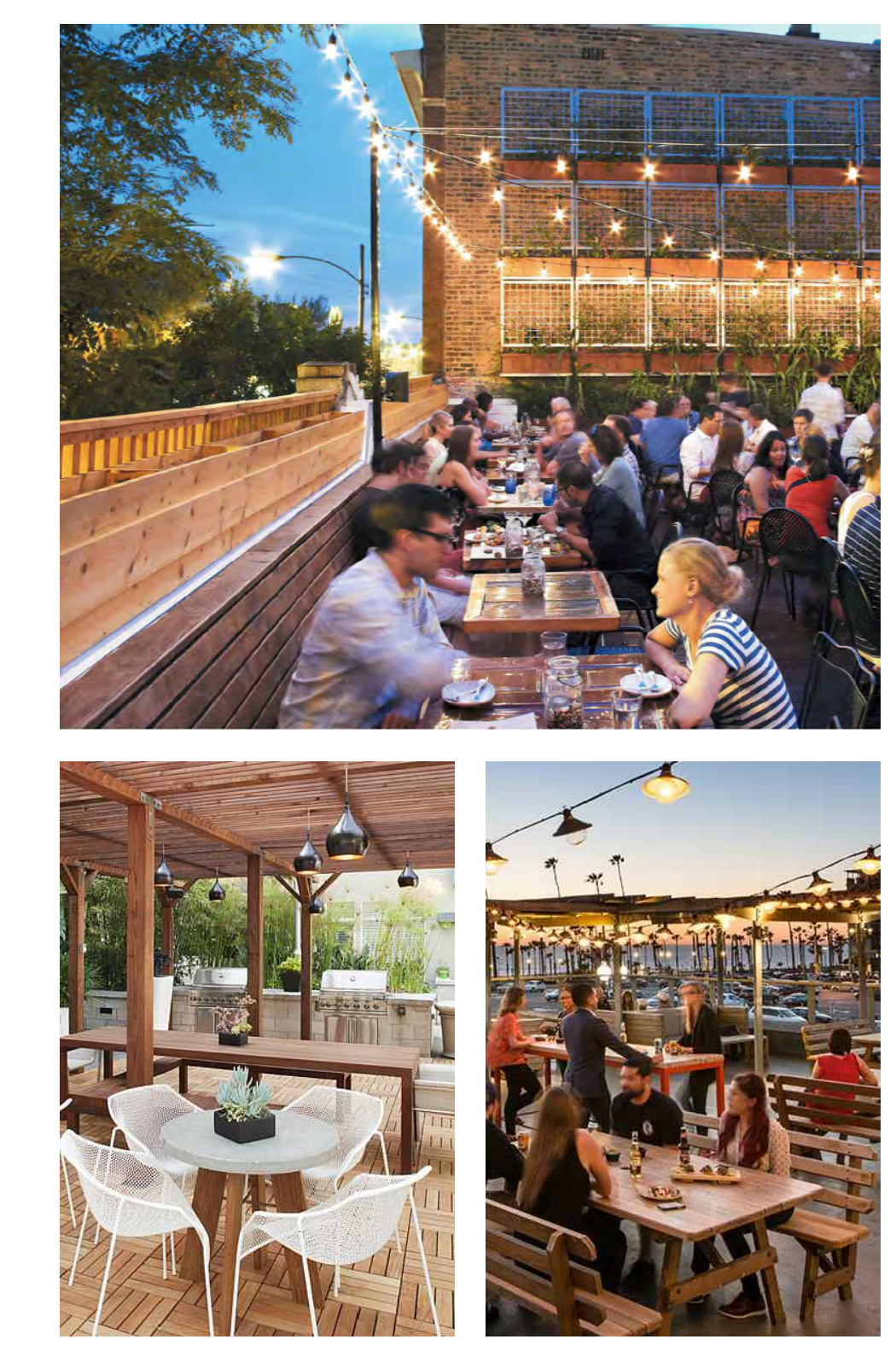
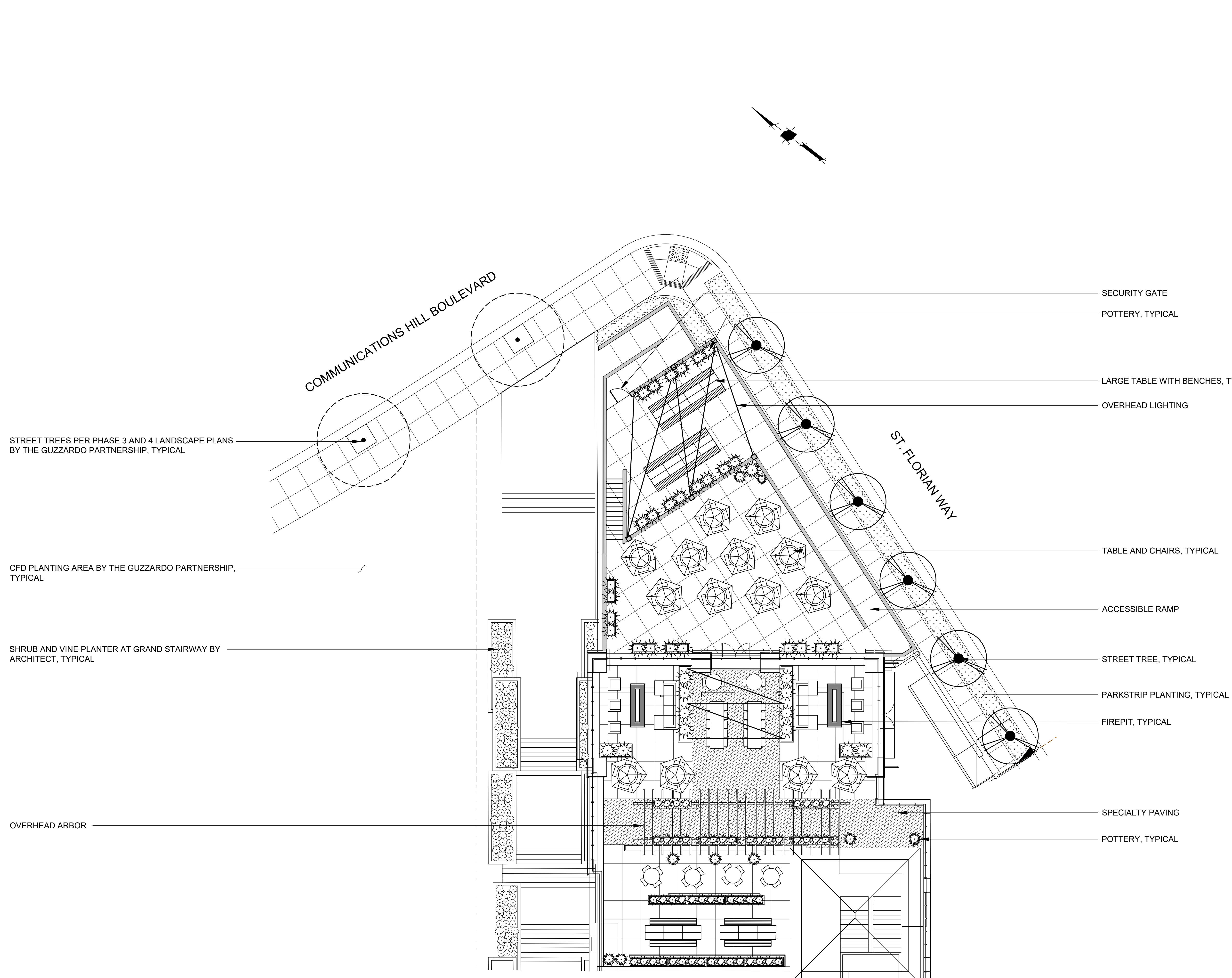


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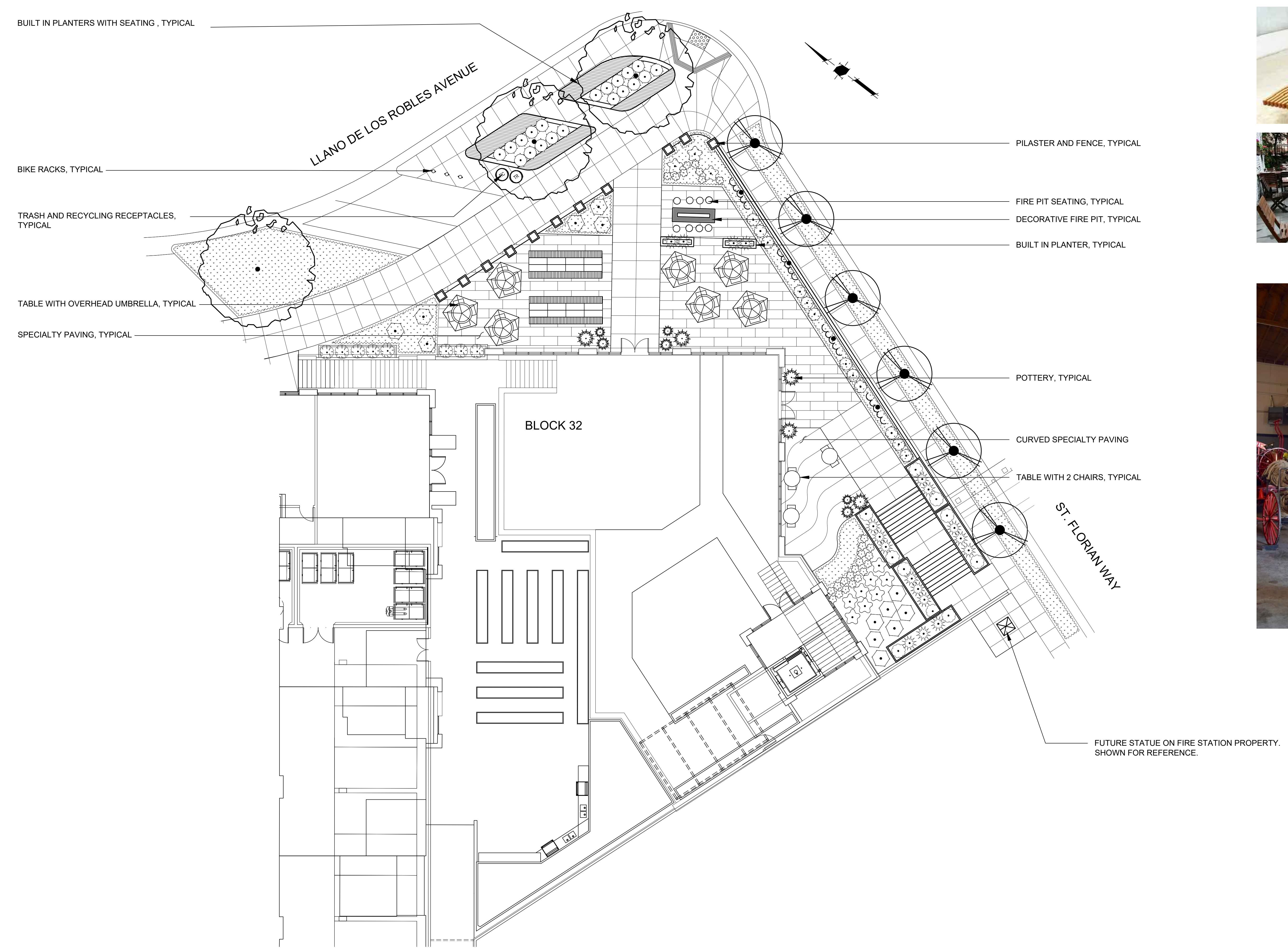


PLANNED DEVELOPMENT
PERMIT AMENDMENT
PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

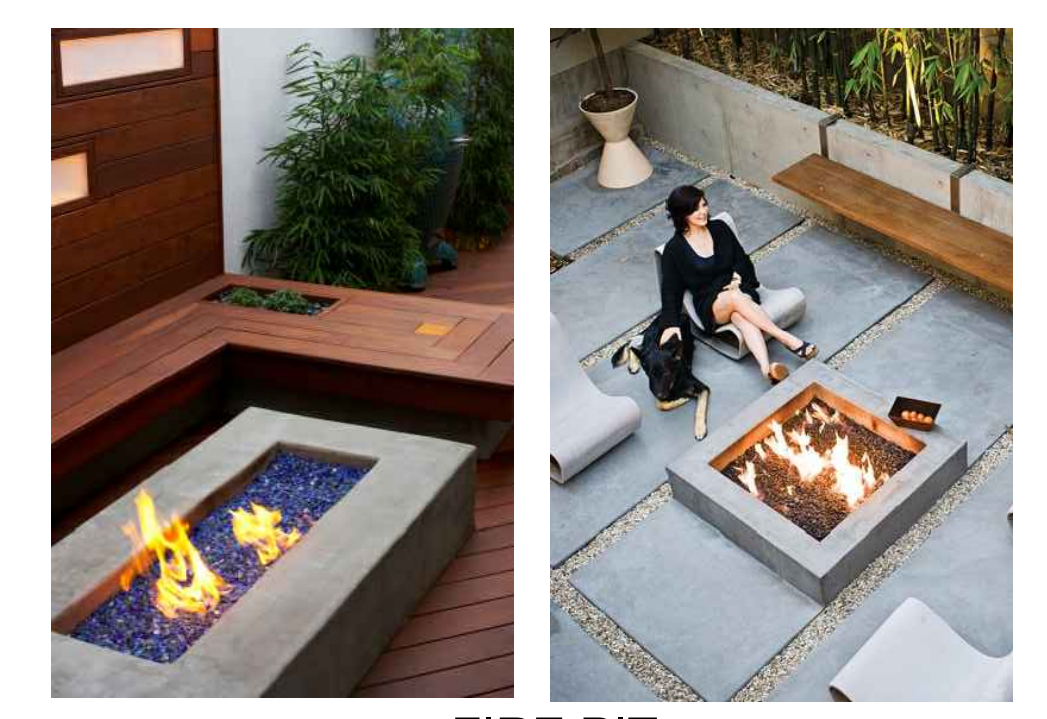
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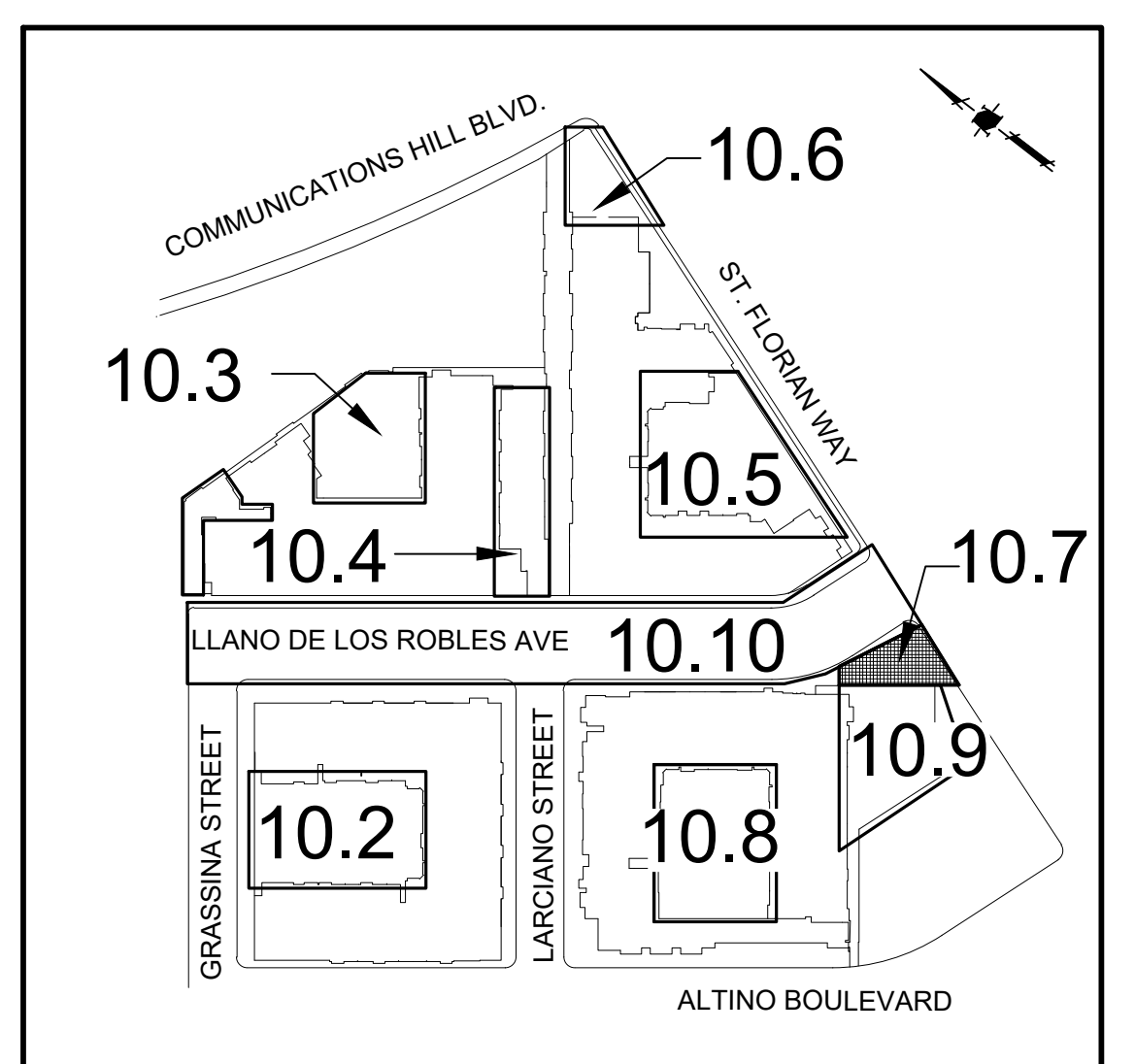
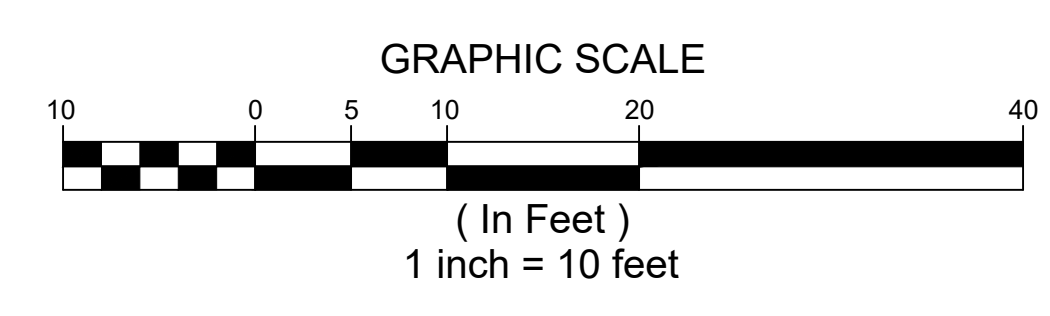
FIRE PIT



POTTERY



FIRE STATION STATUE



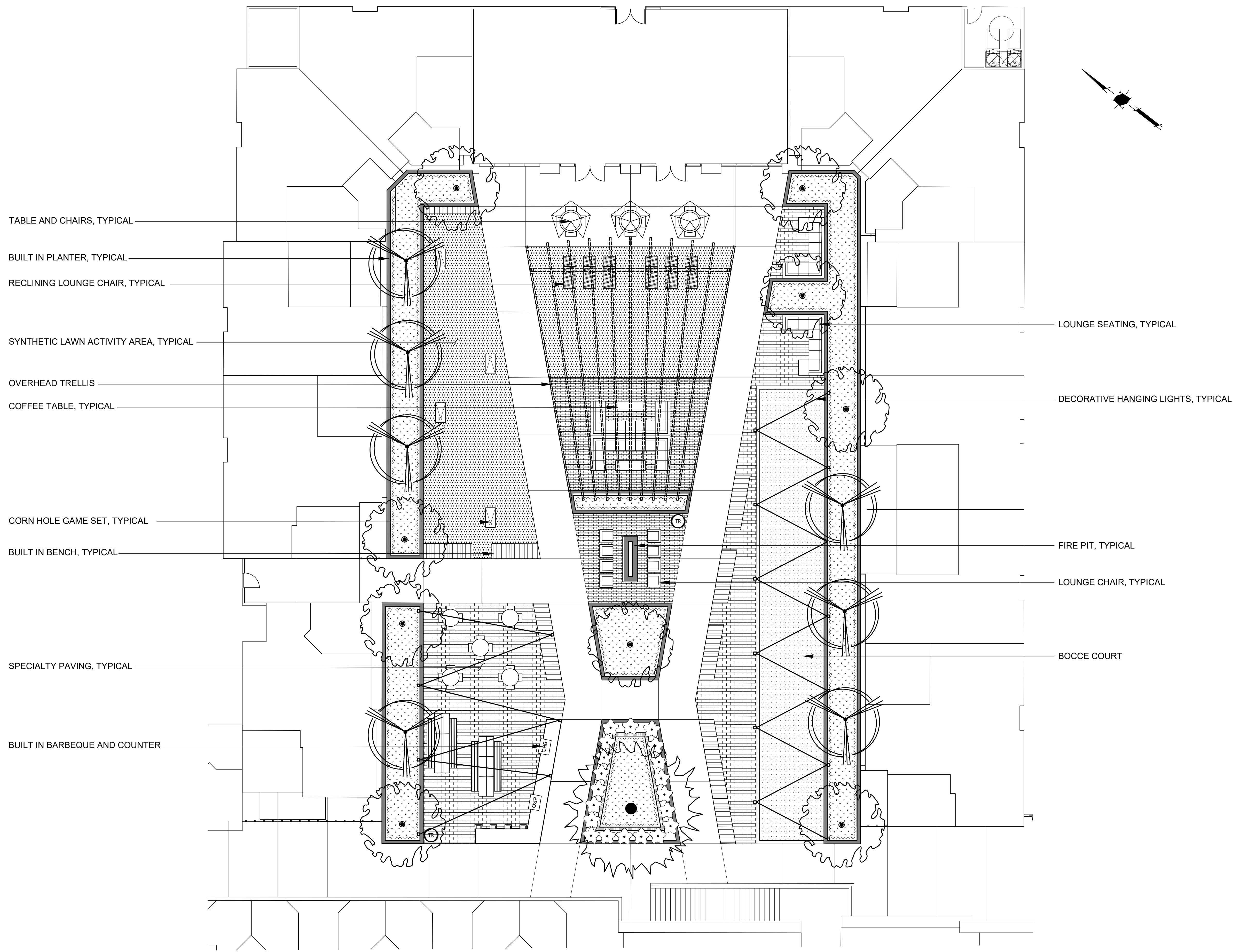
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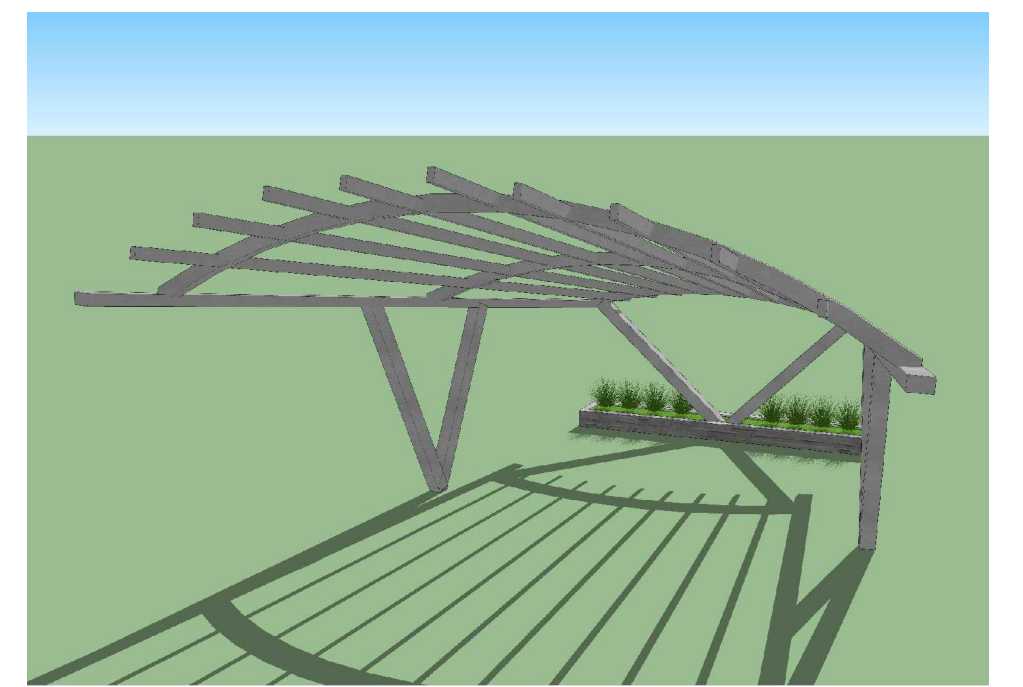
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PDA14-035-05
COMMUNICATIONS HILL - VILLAGE CENTER

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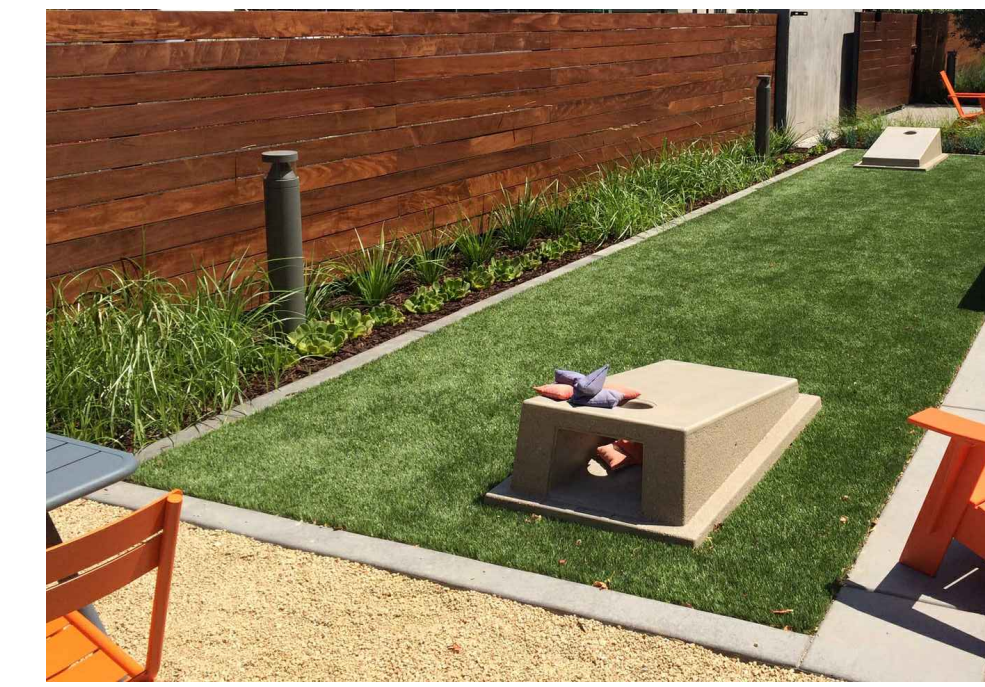
BLOCK 32 PLAZA
LANDSCAPE PLAN



BOCCO COURT



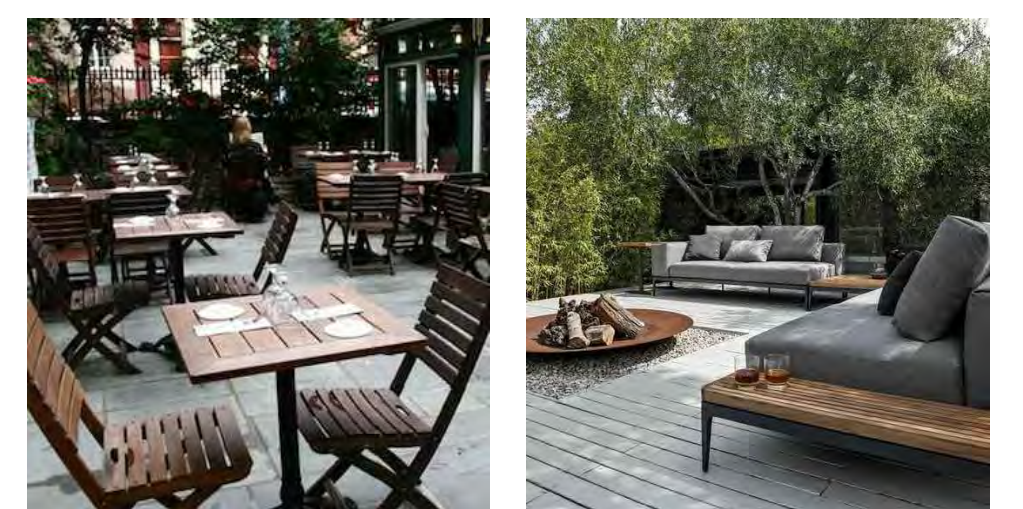
OVERHEAD TRELLIS



CORN HOLE



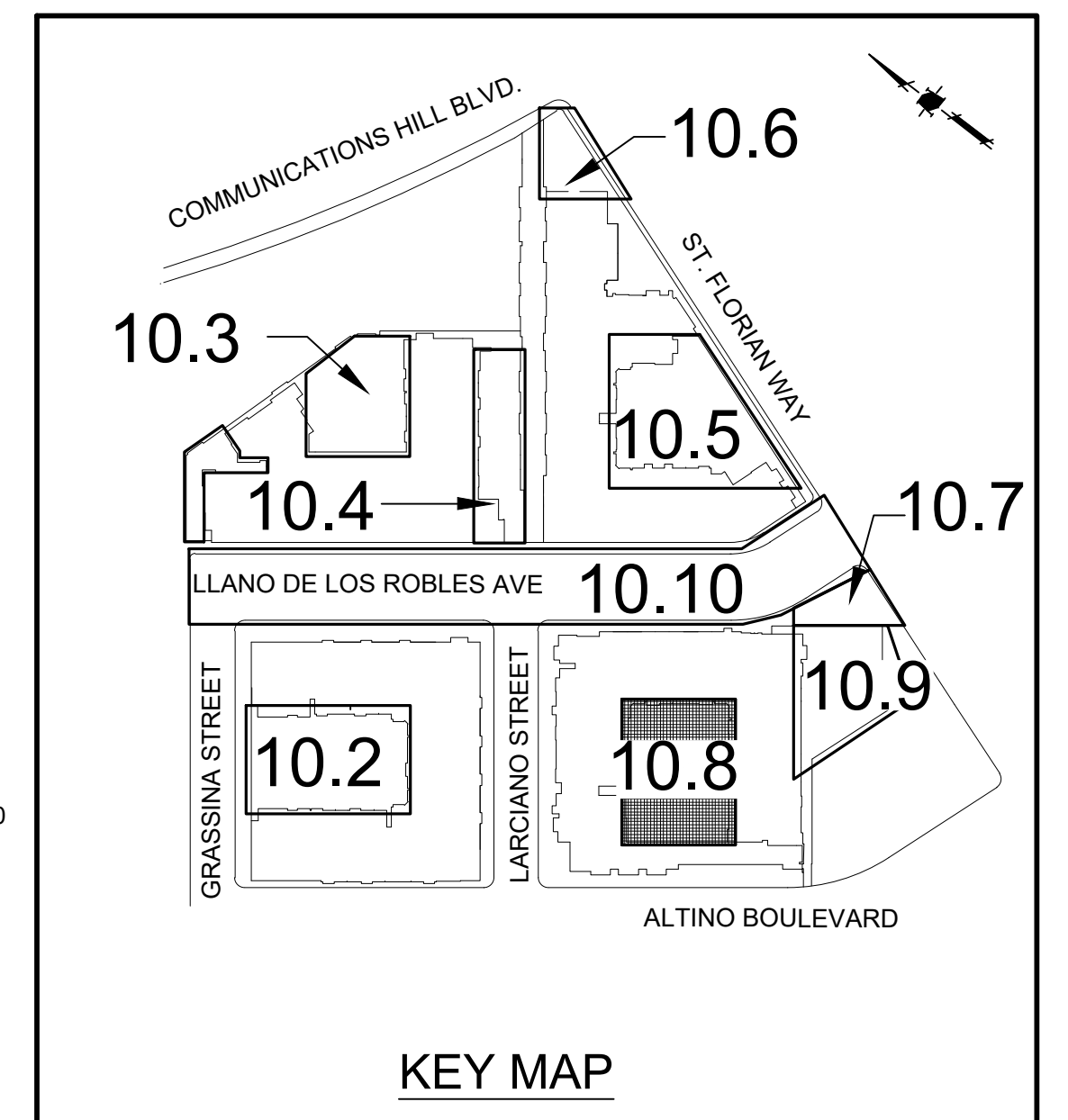
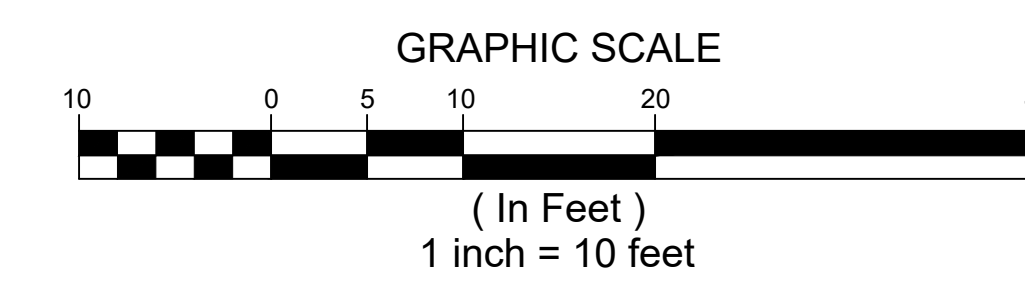
DECORATIVE HANGING LIGHTS



BUILT IN BARBEQUE AND COUNTER

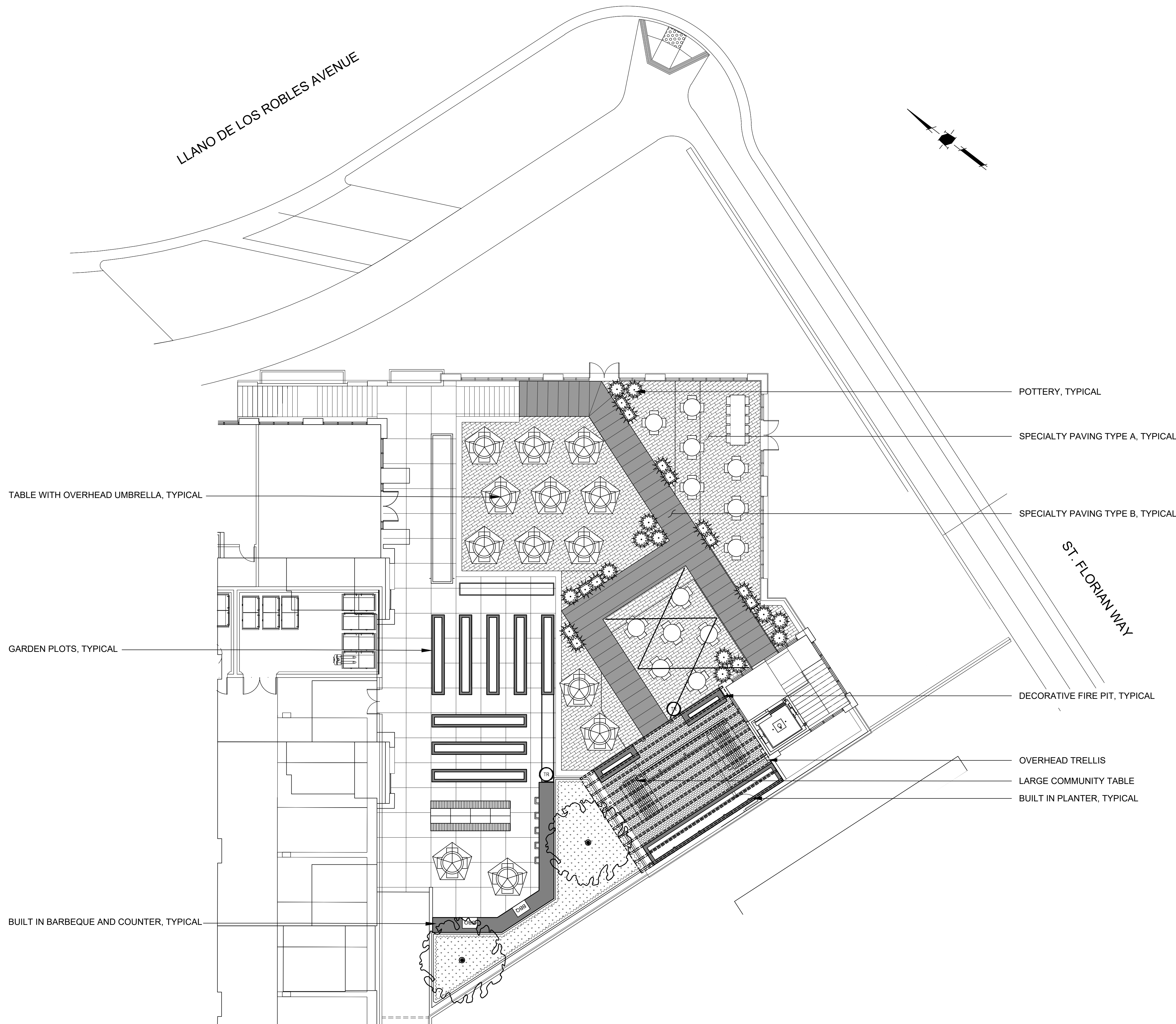


SITE FURNISHINGS



KEY MAP

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GARDEN PLOTS



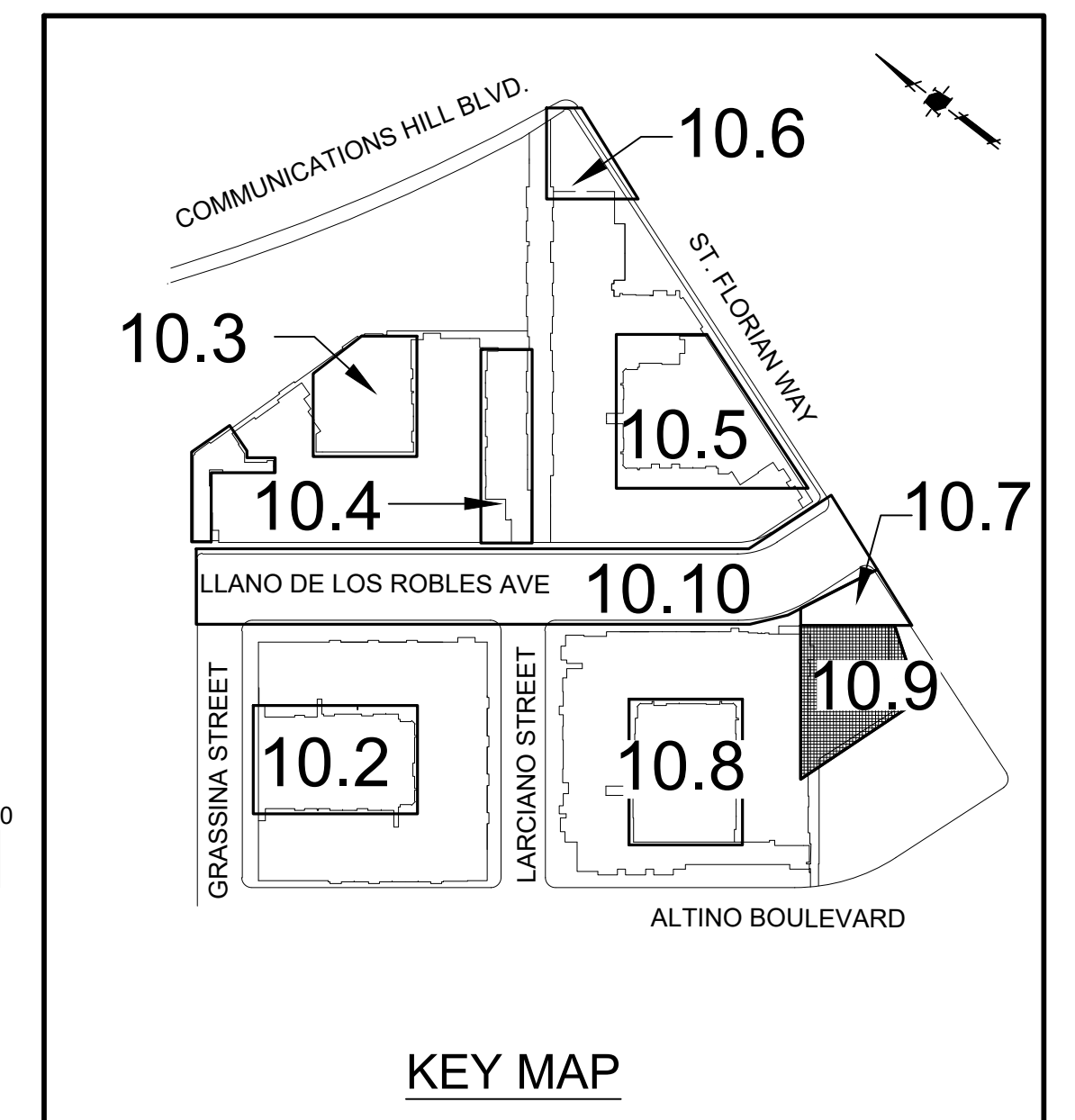
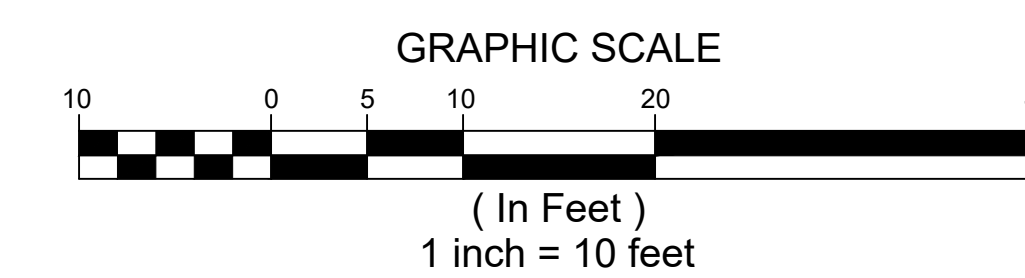
SITE FURNISHINGS



POTTERY



BUILT IN BARBEQUE AND COUNTER



KEY MAP

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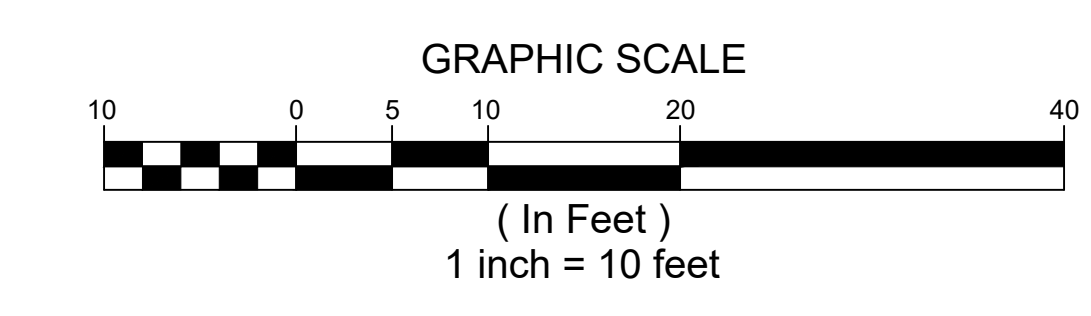
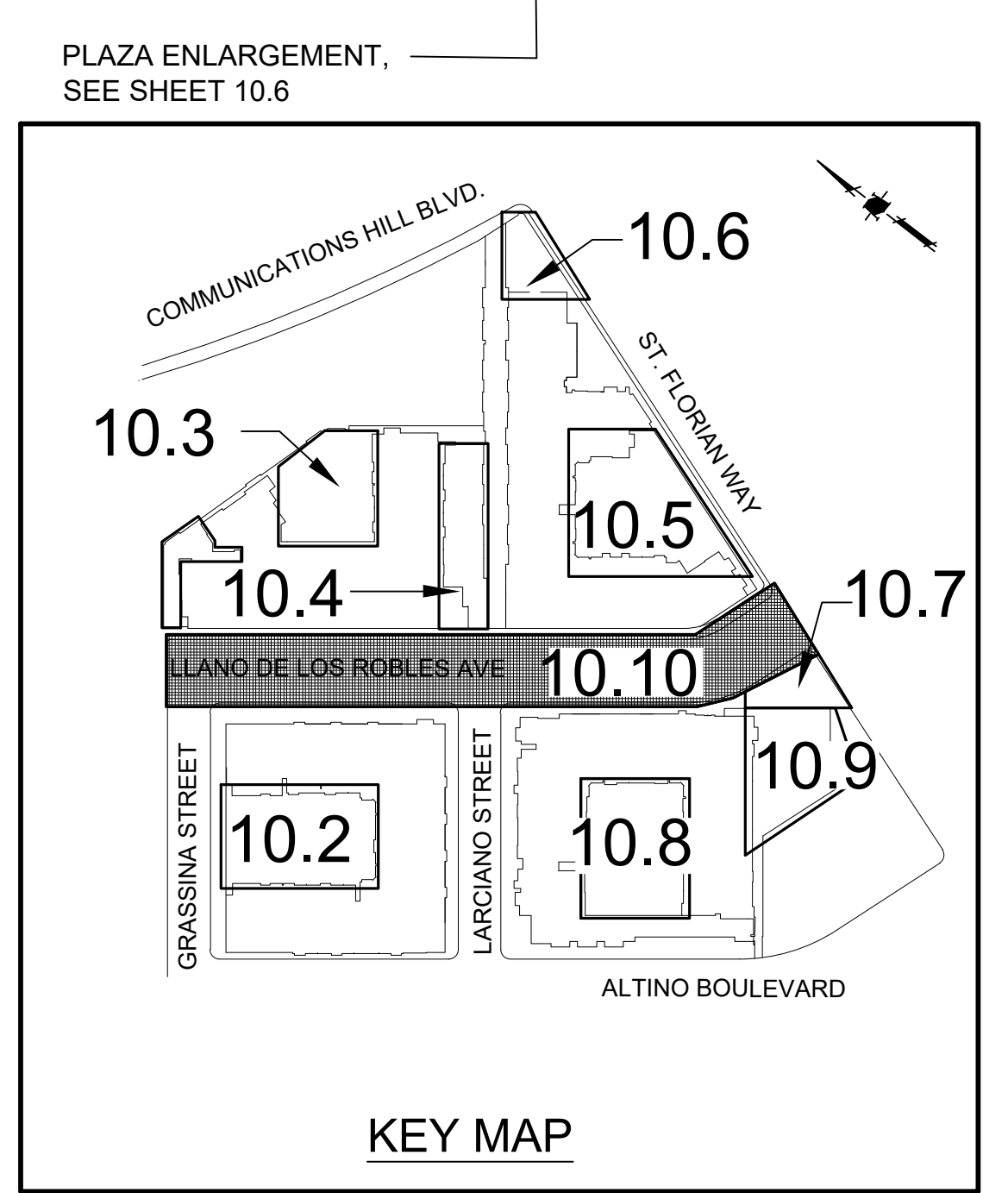
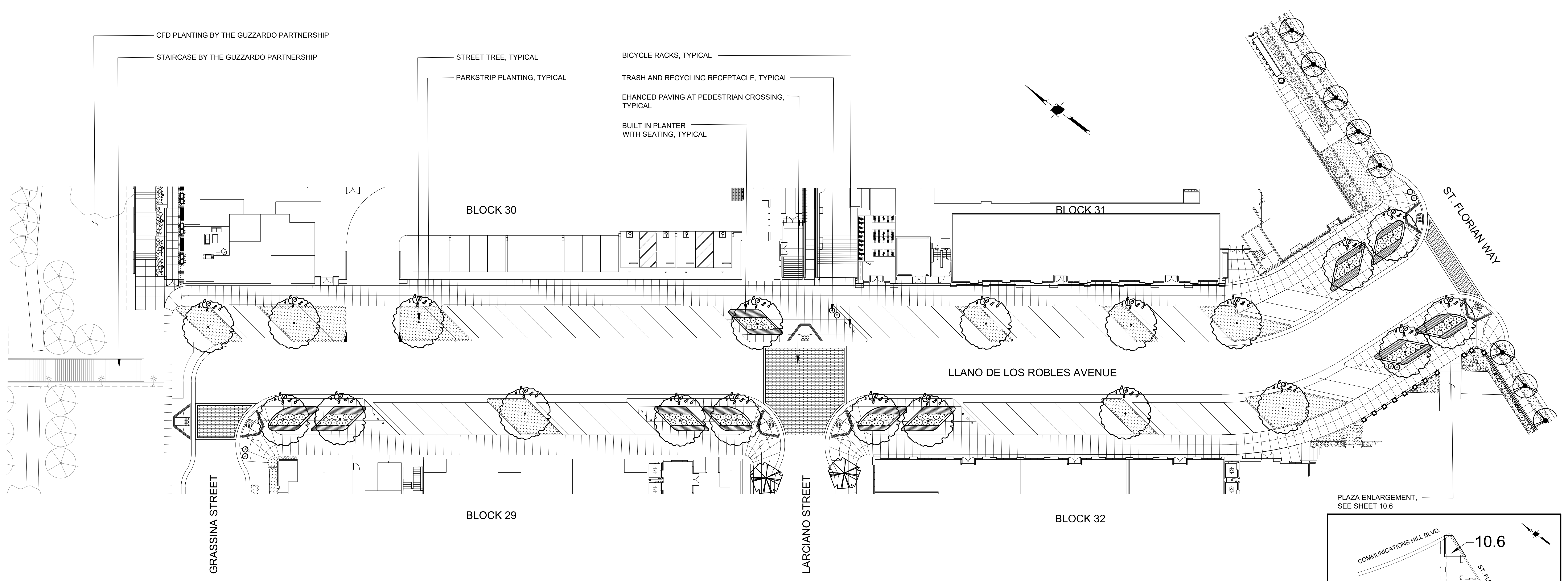
TRASH RECEPTACLE



BUILT IN PLANTER WITH SEATING

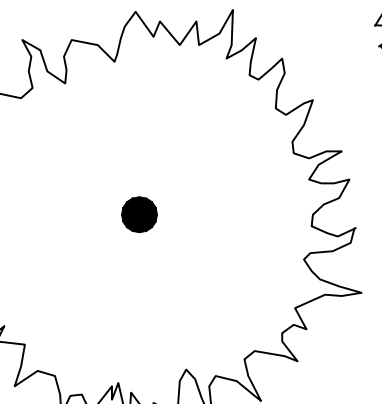
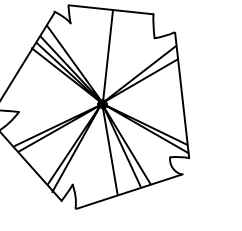
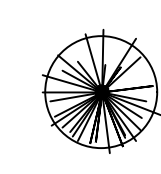
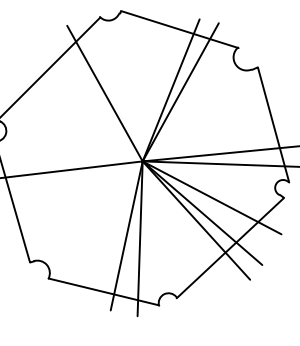
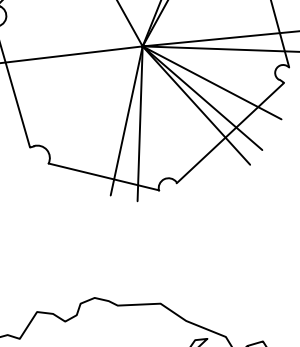
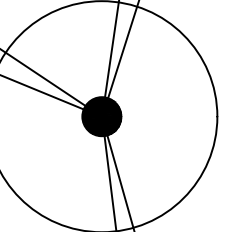
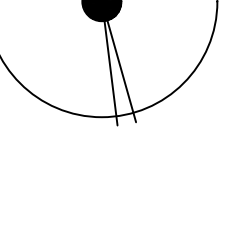
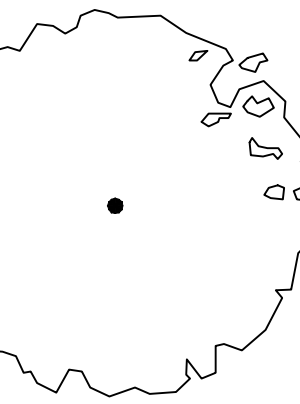
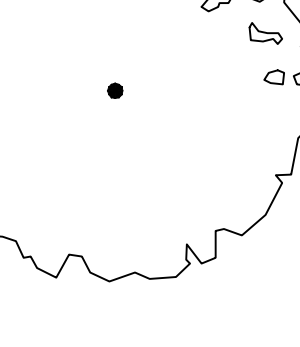
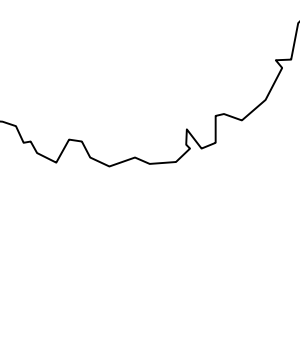
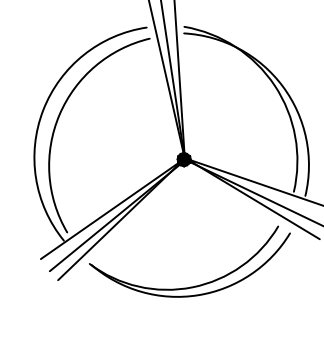
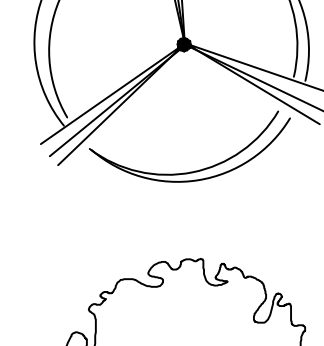
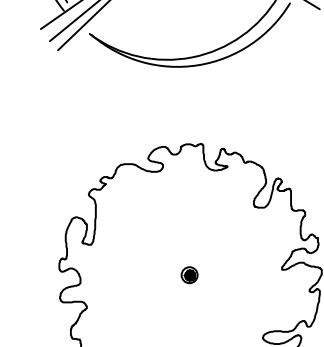
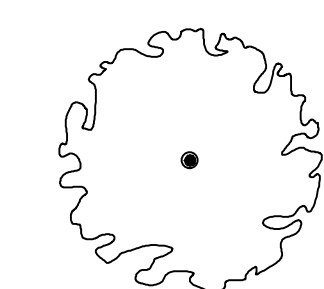
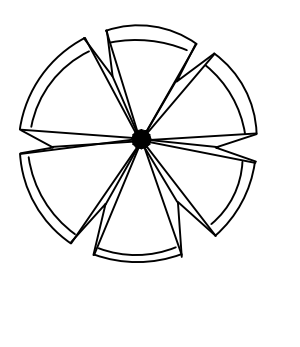


BIKE RACKS




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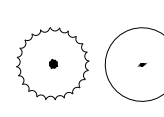
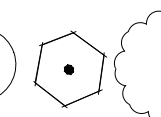

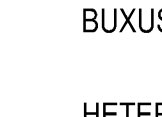
PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW	WUCOLS WATER USE	REMARKS
TREES						
	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	15 GALLON	25'X20'	M	
	CARPINUS BETULA 'FASTIGIATA'	COLUMNAR HORNBEAM	15 GALLON	40'X30'	M	
	CERCIS CANADENSIS	WESTERN REDBUD	15 GALLON	30'X35'	M	
	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	15 GALLON	20'X25'	M	
	GINKGO 'PRINCETON SENTRY'	MAIDENHAIR TREE	15 GALLON	50'X30'	L	MALE ONLY
	LAGERSTROEMIA INDICA	CRAPE MYRTLE	15 GALLON	12'X12'	L	
	OLEA EUROPAEA	OLIVE	24" BOX/FIELD GROWN	30'X25'	L	MULTI-TRUNK
	PISTACIA CHINENSIS	PISTACHE TREE	15 GALLON	35'X35'	L	
	PODOCARPUS GRACILIOR	FERN PINE	15 GALLON	50'X25'	M	
	PRUNUS 'KRAUTER VESUVIUS'	PURPLE LEAF PLUM	15 GALLON	20'X15'	M	
	PYRUS C. 'ARISTOCRAT'	ARISTOCRAT PEAR	15 GALLON	35'X25'	M	
	QUERCUS SHUMARDII	SHUMARD OAK	15 GALLON	40'X40'	M	
	QUERCUS SUBER	CORK OAK	15 GALLON	50'X50'	L	
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	15 GALLON	50'X60'	M	
	RHAPHIOLEPIS 'PATIO TREE FORM'	PATIO TREE HAWTHORN	15 GALLON	15'X10'	L	PATIO TREE FORM

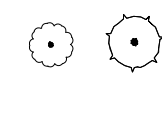
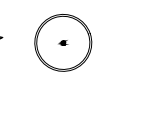
VINES

	CAMPISIS RADICANS	RED TRUMPET CREEPER	5 GALLON		M	
	TECOMARIA CAPENSIS	CAPE HONEYSUCKLE	5 GALLON		M	

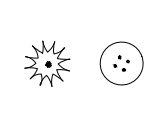
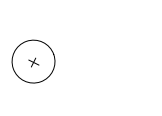

SHRUBS AND GRASSES (LARGE)

	ARBUTUS UNEDO	STRAWBERRY BUSH	1 GALLON	6'X8'	L	
	BUXUS S. 'GREEN BEAUTY'	BOXWOOD	1 GALLON	4'X6'	M	
	HETEROMELES ARBUTIFOLIA	TOYON	1 GALLON	10'X8'	L	
	LIGUSTRUM TEXANUM	PRIVET	1 GALLON	8'X6'	L	

PROPOSED PLANT PALETTE CONTINUED

SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW	WUCOLS WATER USE	REMARKS
SHRUBS AND GRASSES (MEDIUM)						
	CEANOTHUS 'CONCHA'	WILD LILAC	1 GALLON	6-7'X6-8'	L	
	CISTUS LADANIFER 'MACULATUS'	CRIMSON-SPOT ROCKROSE	1 GALLON	3-5'X3-5'	L	
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	1 GALLON	4-6'X4-6'	M	
	ELYMUS CONDENSATUS 'CANYON PRINCE'	CANYON PRINCE WILD RYE GRASS	1 GALLON	2-3'X3'	L	
	LEUCOPHYLLUM FRUTESCENS 'COMPACTUM'	COMPACT TEXAS RANGER	1 GALLON	5'X5'	L	
	LOROPETALUM C. 'BURGANDY'	CHINESE FRINGE FLOWER	1 GALLON	10'X12'	L	
	OSMANTHUS FRAGRANS	SWEET OLIVE	1 GALLON	15'X15'	M	
	PHORMIUM 'APRICOT QUEEN'	NEW ZEALAND FLAX	1 GALLON	4'X5'	L	
	PHORMIUM 'SUNDOWNER'	NEW ZEALAND FLAX	1 GALLON	10'X6'	L	
	PRUNUS CAROLIANA 'COMPACTA'	CAROLINA CHERRY LAUREL	1 GALLON	10'X8'	M	
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	1 GALLON	6'X5'	M	

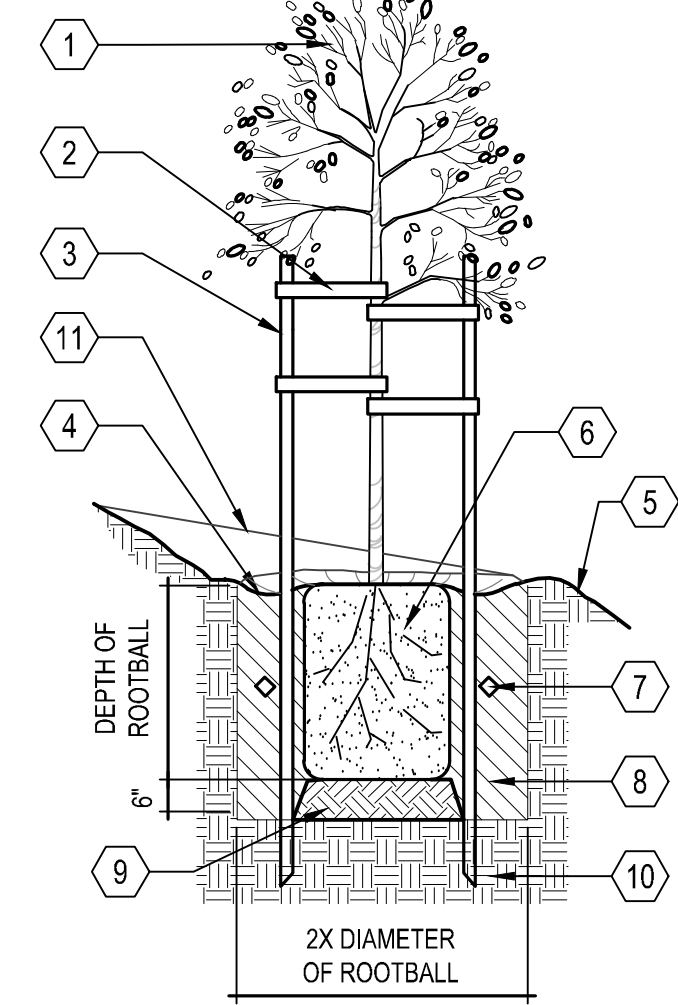
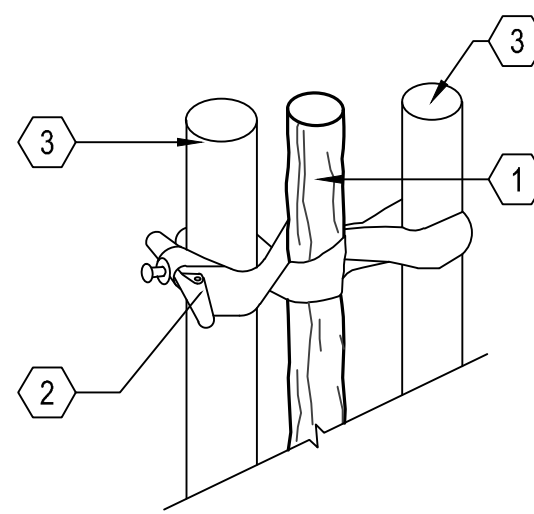
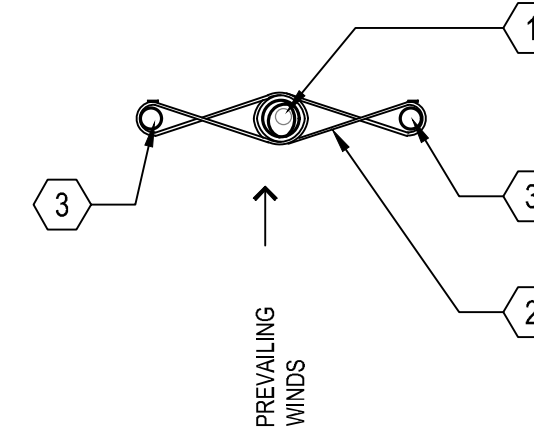
SHRUBS AND GRASSES (SMALL)

	AGAVE ATTENUATA	FOXTAIL AGAVE	1 GALLON	5'X8'	L	
	ANIGOZANTHOS FLAVIDUS 'BIG RED'	BIG RED KANGAROO PAW	1 GALLON	6'X3'	L	
	DIANELLA 'CASSA BLUE'	BLUE FLAX LILY	1 GALLON	2' SPREADING	L	
	LOMANDRA BREEZE	MAT RUSH	1 GALLON	3'X4'	L	
	LOMANDRA NYALLA	MAT RUSH	1 GALLON	4'X4'	L	
	MUHLBERGIA M. RIGENS	DEER GRASS	1 GALLON	5'X6'	L	
	PENNISETUM SPATHIOLATUM	SLENDER VELDT GRASS	1 GALLON	2'X2'	L	
	RHAMNUS CALIFORNICA	COFFEEBERRY	1 GALLON	8'X8'	L	
	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GALLON	2'X2'	L	

GROUNDCOVER

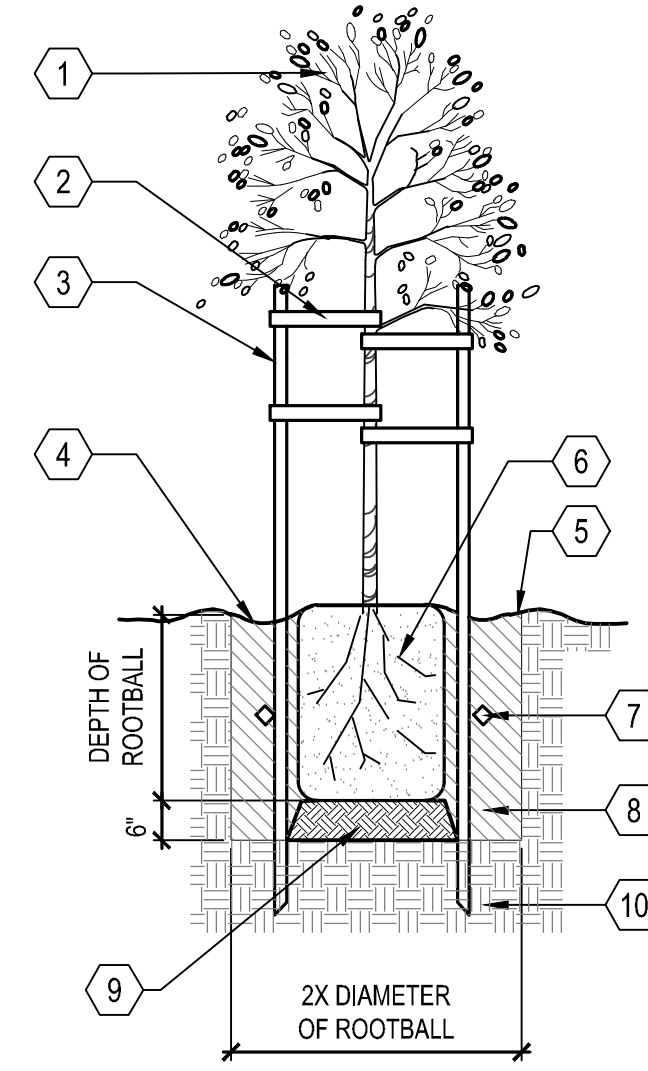
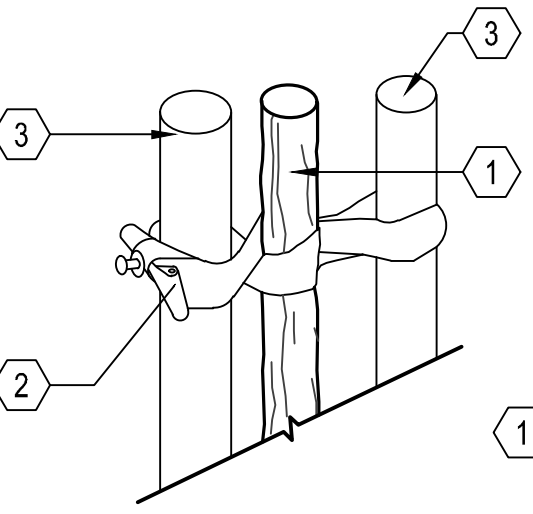
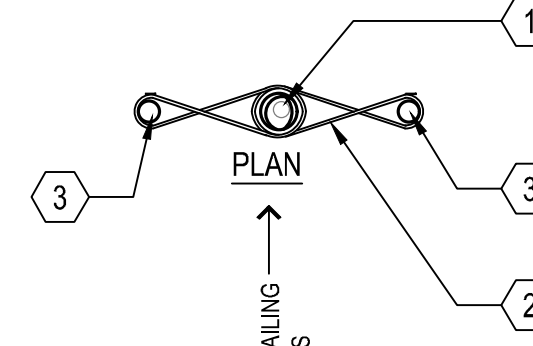
	ARCTOSTAPHYLOS 'PACIFIC MIST'	MANZANITA	1 GALLON	3'X12'	L	
	CAREX DIVULSA	BERKELEY SEDGE	1 GALLON	2'X2'	L	
	CHONDROPETALUM TECTORUM	CAPE RUSH	1 GALLON	3'X4'	L	
	ERIGERON KARVINSKANUS	SANTA BARBARA DAISY	1 GALLON	2'X5'	L	
	HAKONECHLOA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	1 GALLON	0.5'-1.5'	M	
	HEMEROCALLIS 'STELLA D'ORO'	HYBRID DAY LILY	1 GALLON	1'X1'	L	
	LIRIOPE MUSCARI 'VAREIGATA'	LILY TURF	1 GALLON	2'X1'	L	
	MYOPORUM 'PUTAH CREEK'	MYOPORUM	1 GALLON	1'X15'	L	
	PHORMIUM 'JACK SPRATT'	COMPACT NEW ZEALAND FLAX	1 GALLON	2'X2'	L	
	ROSMARINUS OFFICINALIS 'PROSTRATUS'	CARPET ROSEMARY	1 GALLON	2'X8'	L	
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 GALLON	6' SPREADING	L	

- NOTES:**
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. THIS DETAIL APPLIES TO 15 GALLON, 24" AND 36" BOX TREES.
3. ROOTBALL CROWN TO EXTEND 1" ABOVE FINISH GRADE.
4. TREES INSTALLED WITHIN TURF AREAS SHALL BE INSTALLED WITH 'ARBOR-GARD' AT BASE OF TRUNK.
- 1 TREE-SEE PLAN FOR SIZE AND TYPE
 - 2 CINCH TIE OR APPROVED EQUAL
 - 3 2" DIAMETER TREATED LODGE POLE PINE STAKE PLACED ON WINDWARD SIDES OF TREE, AND OUTSIDE OF ROOTBALL
 - 4 A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE. TREES PLANTED IN TURF SHALL NOT HAVE BASINS.
 - 5 FINISH GRADE
 - 6 ROOTBALL
 - 7 AGRIFORM PLANT TABLETS 3 PER 15 GALLON, 6 PER 24" BOX AND 8 FOR 36" BOX
 - 8 APPROVED BACKFILL, THOROUGHLY MIXED PRIOR TO INSTALLATION. PUDDLE AND SETTLE PRIOR TO PLANTING TREE.
 - 9 FOOT TAMP BASE
 - 10 NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE
 - 11 EDGE OF SLOPE BEYOND



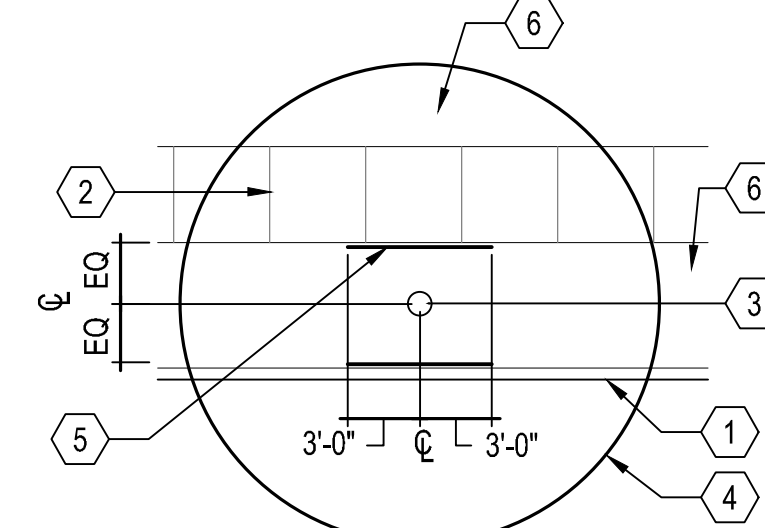
H TREE STAKING SLOPE (DOUBLE)
SCALE: NOT TO SCALE

- NOTES:**
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. THIS DETAIL APPLIES TO 15 GALLON AND 24" BOX TREES.
3. ROOTBALL CROWN TO EXTEND 1" ABOVE FINISH GRADE.
4. TREES INSTALLED WITHIN TURF AREAS SHALL BE INSTALLED WITH 'ARBOR-GARD' AT BASE OF TRUNK.
- 1 TREE-SEE PLAN FOR SIZE AND TYPE
 - 2 CINCH TIE OR APPROVED EQUAL
 - 3 2" DIAMETER TREATED LODGE POLE PINE STAKE PLACED ON WINDWARD SIDES OF TREE, AND OUTSIDE OF ROOTBALL
 - 4 A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISH GRADE. TREES PLANTED IN TURF SHALL NOT HAVE BASINS.
 - 5 FINISH GRADE
 - 6 ROOTBALL
 - 7 AGRIFORM PLANT TABLETS 3 PER 15 GALLON, 6 PER 24" BOX AND 8 FOR 36" BOX
 - 8 APPROVED BACKFILL, THOROUGHLY MIXED PRIOR TO INSTALLATION. PUDDLE AND SETTLE PRIOR TO PLANTING TREE.
 - 9 FOOT TAMP BASE
 - 10 NATIVE GRADE

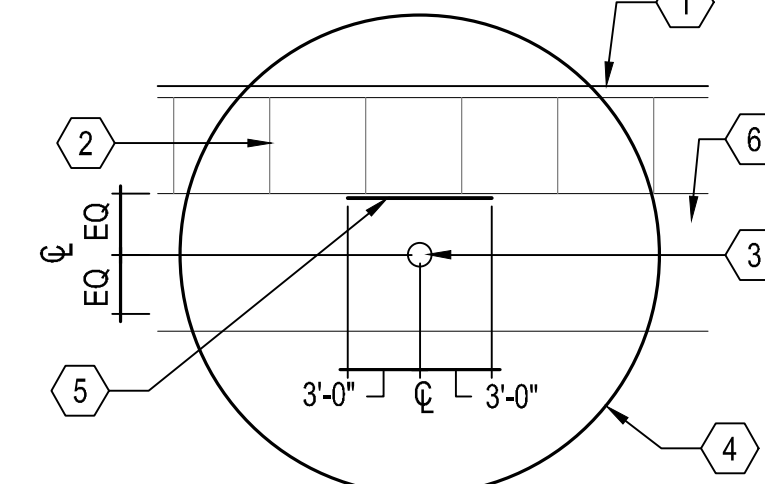


F TREE STAKING (DOUBLE)
SCALE: N.T.S.

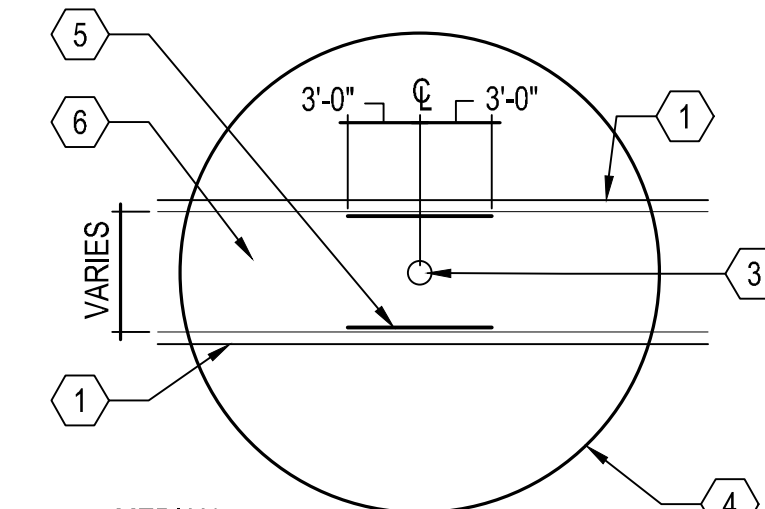
- NOTES:**
1. ROOT CONTROL BARRIER SHALL BE USED WHEN TREE IS LOCATED 10' OR LESS FROM WATER, STORM, AND SEWER UTILITIES.
2. INSTALL AN 18" DEEP 'DEEP ROOT' CONTROL BARRIER AT EDGE OF SIDEWALK.
3. INSTALL A 24" DEEP 'DEEP ROOT' CONTROL BARRIER AT BACK OF CURB OR INSTALL A 36" DEEP 'DEEP ROOT' CONTROL BARRIER AT BACK OF CURB WHEN WITHIN 6' FROM WATER AND SEWER LATERAL LINES.
4. NO ROOT CONTROL BARRIERS SHALL BE WITHIN 5' FROM WATER AND SEWER LINES.
5. *DEEP ROOT PHONE NUMBER (800) 458-7668
- 1 CURB
 - 2 SIDEWALK
 - 3 TREE TRUNK
 - 4 TREE CANOPY
 - 5 ROOT BARRIER
 - 6 PLANTING AREA



DETACHED SIDEWALK



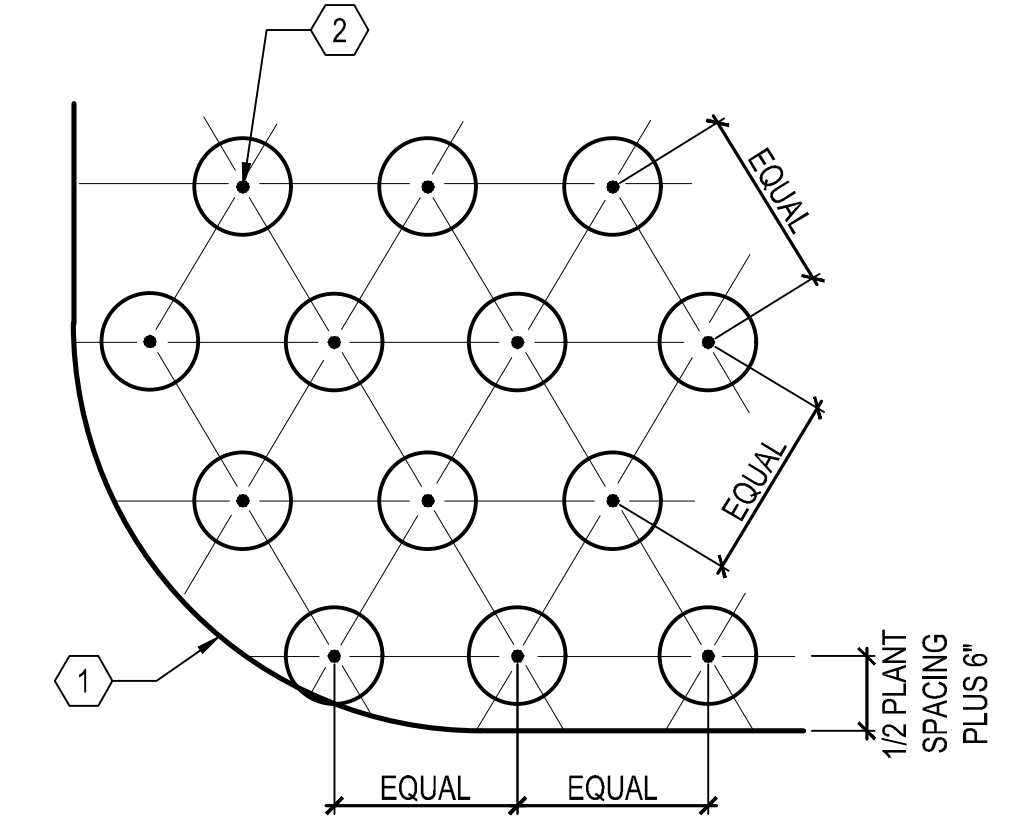
MONOLITHIC SIDEWALK



MEDIAN

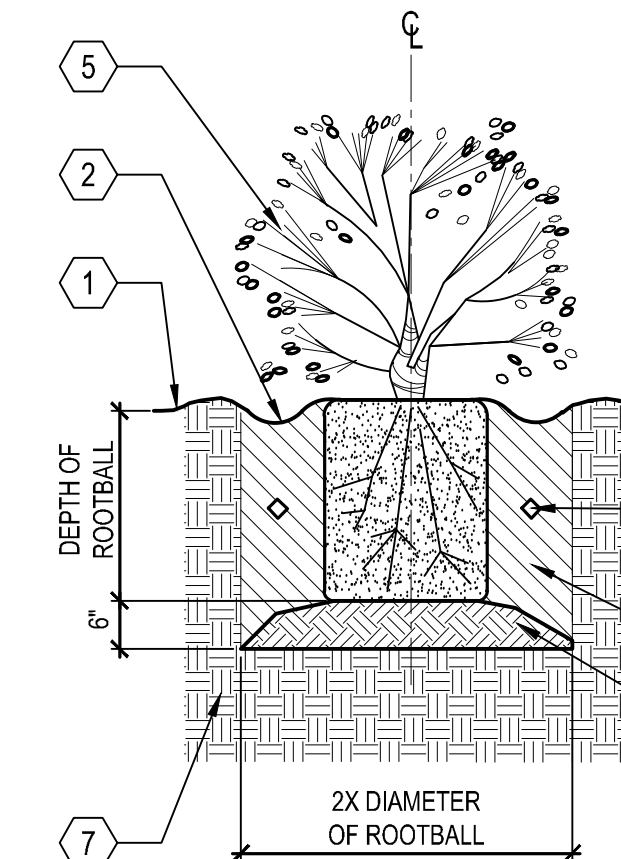
D ROOT BARRIER
SCALE: NOT TO SCALE

- NOTES:**
1. ALL PLANTS TO BE PLANTED AT EQUAL SPACING 'TRIANGULATED' UNLESS OTHERWISE INDICATED ON PLANS.
2. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.
- 1 EDGE OF PLANTING AREA
 - 2 TYPICAL PLANT SPACING VARIES SEE PLANTING LEGEND AND PLANS.



A GROUNDCOVER PLANTING
SCALE: NOT TO SCALE

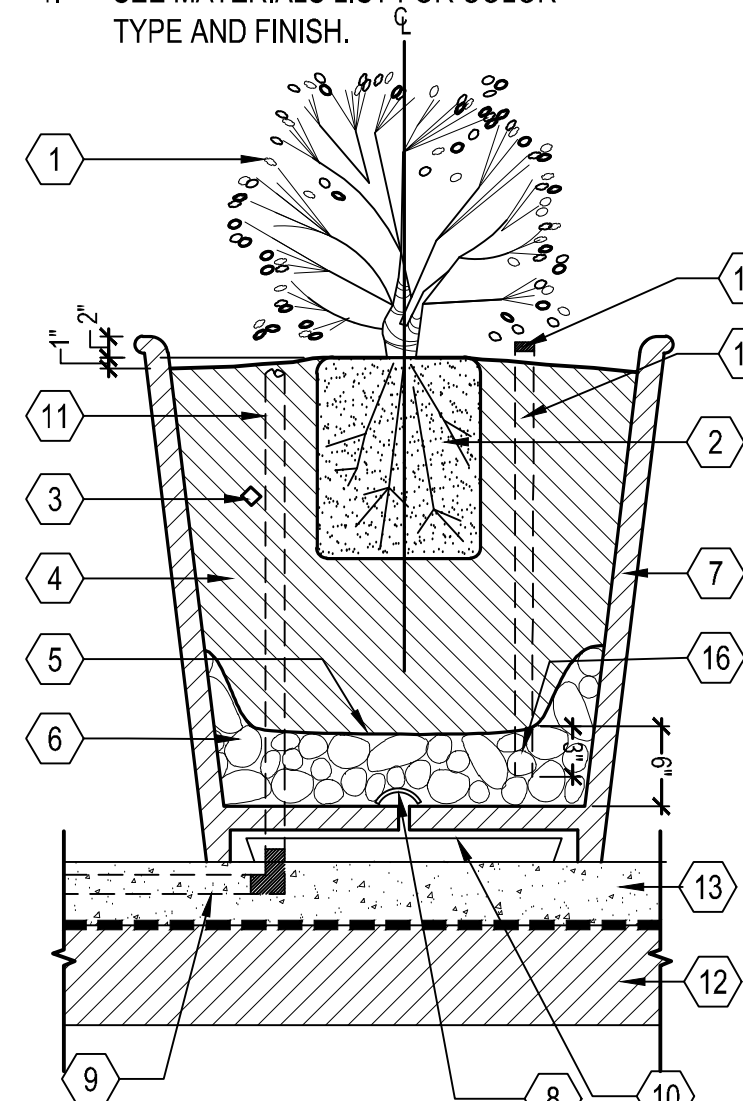
- NOTES:**
1. ROOTBALL CROWN TO BE 1" ABOVE FINISHED GRADE.



- 1 FINISHED GRADE
- 2 A SHALLOW BASIN 2" DEEP SHALL BE FORMED AROUND ROOTBALL BELOW FINISHED GRADE
- 3 AGRIFORM PLANT TABLETS 2 PER 1 GALLON, 3 PER 5 AND 15 GALLON
- 4 FOOT TAMP BASE
- 5 SHRUB-SEE PLAN AND LEGEND FOR SIZE AND TYPE
- 6 APPROVED BACKFILL, THOROUGHLY MIXED PRIOR TO INSTALLATION
- 7 NATIVE GRADE OR CERTIFIED COMPACTED SUBGRADE

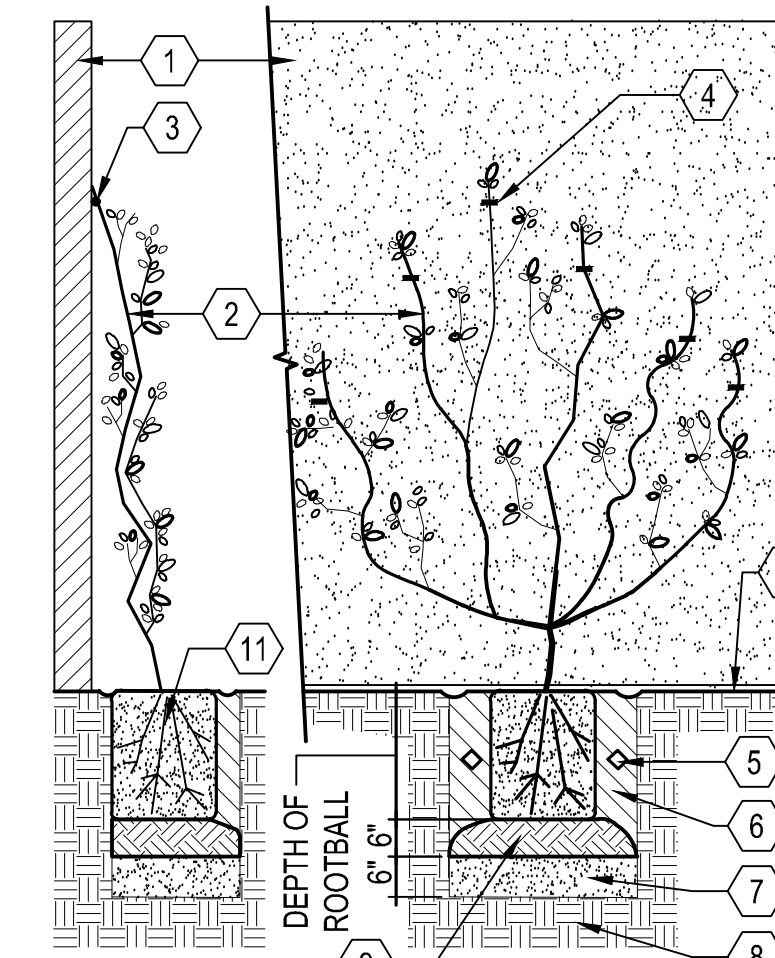
B SHRUB PLANTING
SCALE: NOT TO SCALE

- NOTES:**
1. SEE MATERIALS LIST FOR COLOR TYPE AND FINISH.
- 1 SHRUB-SEE PLAN AND LEGEND FOR SIZE AND TYPE
 - 2 ROOTBALL
 - 3 AGRIFORM PLANT TABLETS 2 PER 1 GALLON, 3 PER 5 AND 15 GALLON
 - 4 BACKFILL MIX: 50% ORGANIC AMENDMENTS, 50% WASHED HORTICULTURAL SAND
 - 5 FILTER FABRIC
 - 6 PEA GRAVEL 6" MINIMUM DEPTH
 - 7 POTTERY SEE POTTERY PLAN
 - 8 DRAIN CHIP
 - 9 COPPER IRRIGATION SUPPLY IMBEDDED IN TOPPING SLAB.
 - 10 STONEWEAR TRAY
 - 11 PVC IRRIGATION STUBOUT- SEE DETAIL
 - 12 STRUCTURAL SLAB WITH WATERPROOFING BY OTHERS (S.A.D.)
 - 13 PODIUM SLAB OR CONCRETE PAVING- SEE PLAN FOR LOCATIONS
 - 14 2" DIAMETER PVC MONITORING TUBE
 - 15 2" GRATE
 - 16 MINIMUM 3" DEPTH INTO PEA GRAVEL



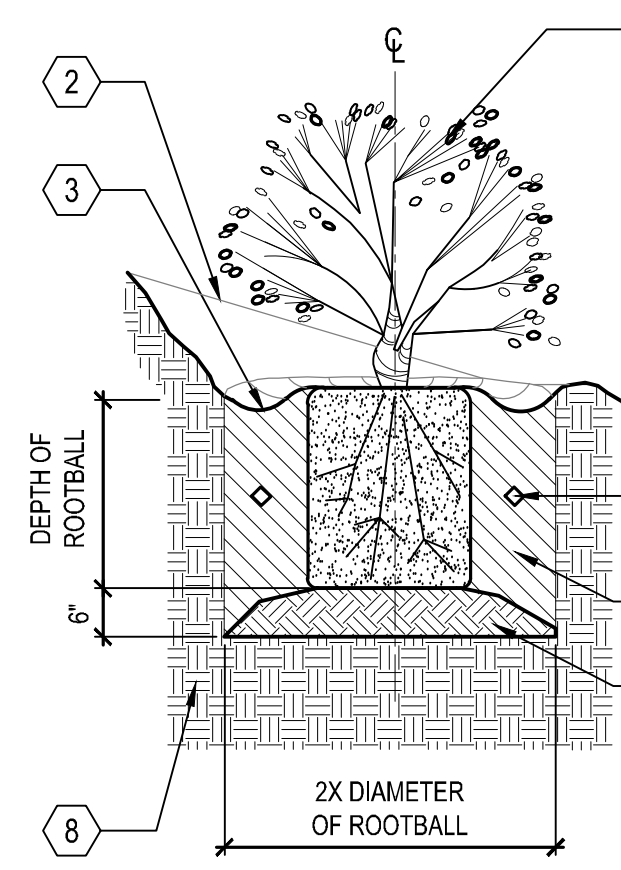
G POTTERY
SCALE: N.T.S.

- NOTES:**
1. ROOTBALL CROWN TO BE 1" ABOVE FINISH GRADE.
- 1 FENCE OR WALL
 - 2 VINE-SEE PLANTING PLAN FOR SIZE AND TYPE
 - 3 VINE TYING DISCS-EPOXY TO WALL TO SUPPORT PLANT BRANCHING STRUCTURE
 - 4 PLASTIC STAKING TAPE TO TIE BRANCHES TO TYING DISCS
 - 5 AGRIFORM PLANT TABLETS 2 PER 1 GALLON, 3 PER 5 AND 15 GALLON
 - 6 APPROVED BACKFILL, THOROUGHLY MIXED PRIOR TO INSTALLATION
 - 7 SCARIFY SOIL TO 6" DEPTH AND ADD EQUAL AMOUNT OF PREPARED SOIL AND THOROUGHLY MIX
 - 8 NATIVE GRADE
 - 9 FOOT TAMP BASE
 - 10 FINISHED GRADE
 - 11 ROOTBALL



E VINE PLANTING (WALL OR FENCE)
SCALE: 1"=1'-0"

- NOTES:**
1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
2. ROOTBALL CROWN TO BE 1" ABOVE FINISH GRADE.



C SHRUB PLANTING ON SLOPE
SCALE: N.T.S.

HYDROZONE LEGEND:

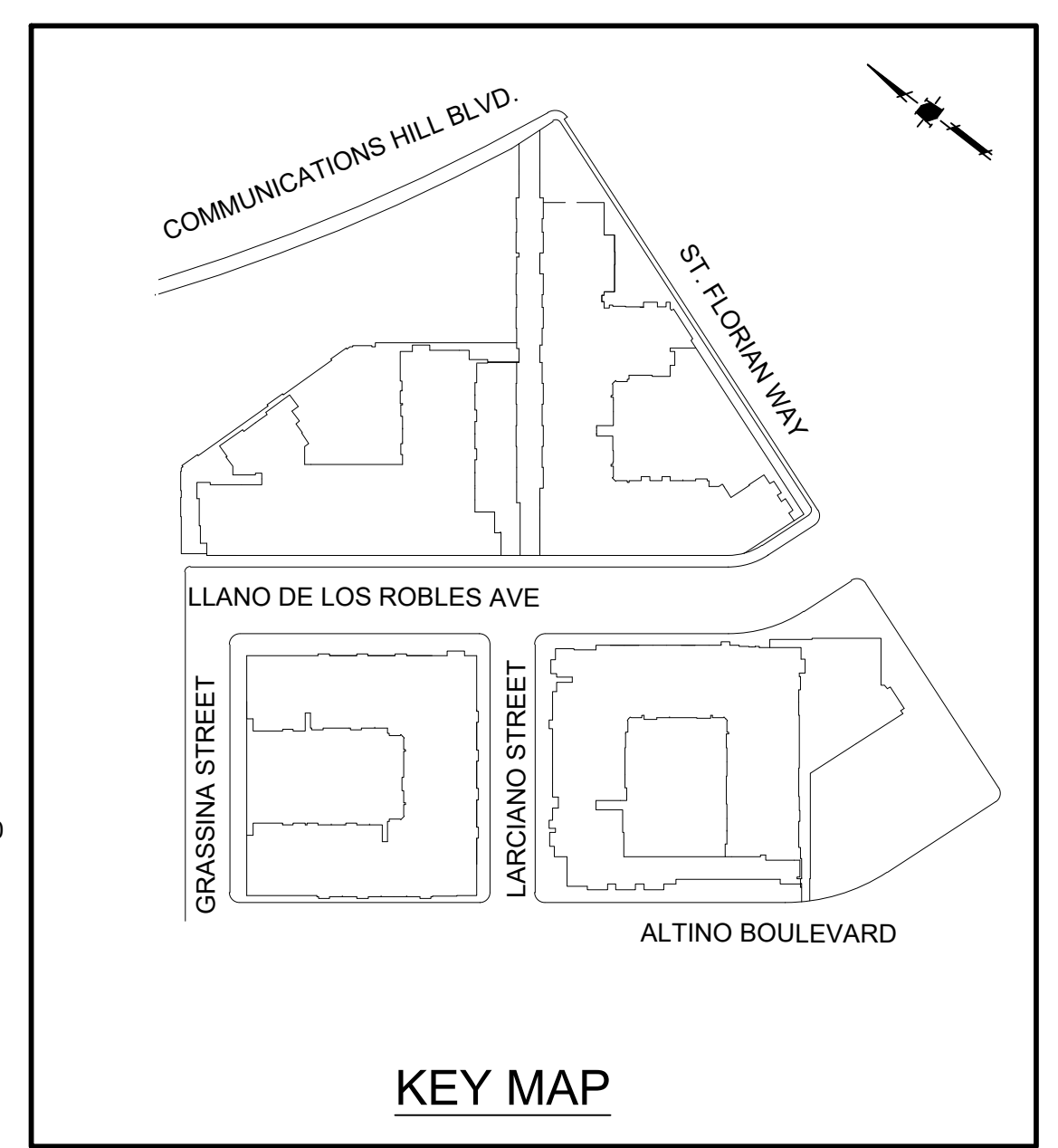
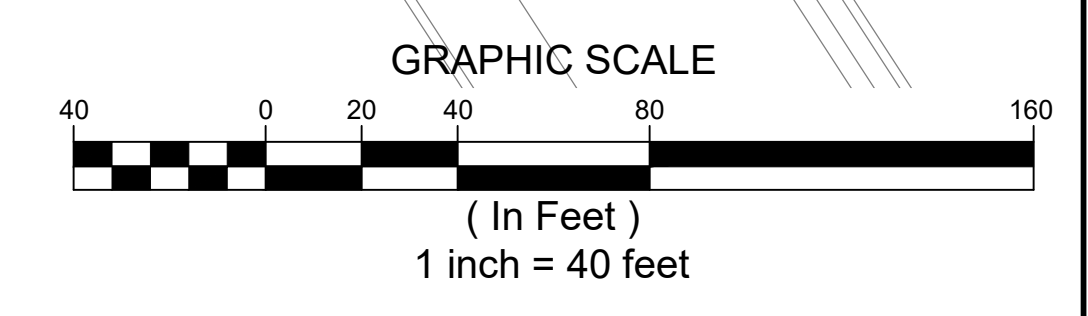
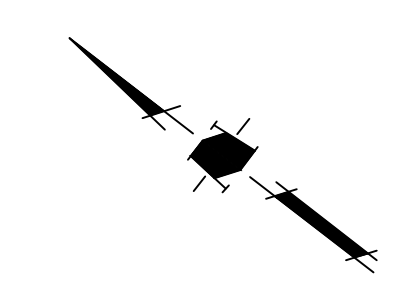
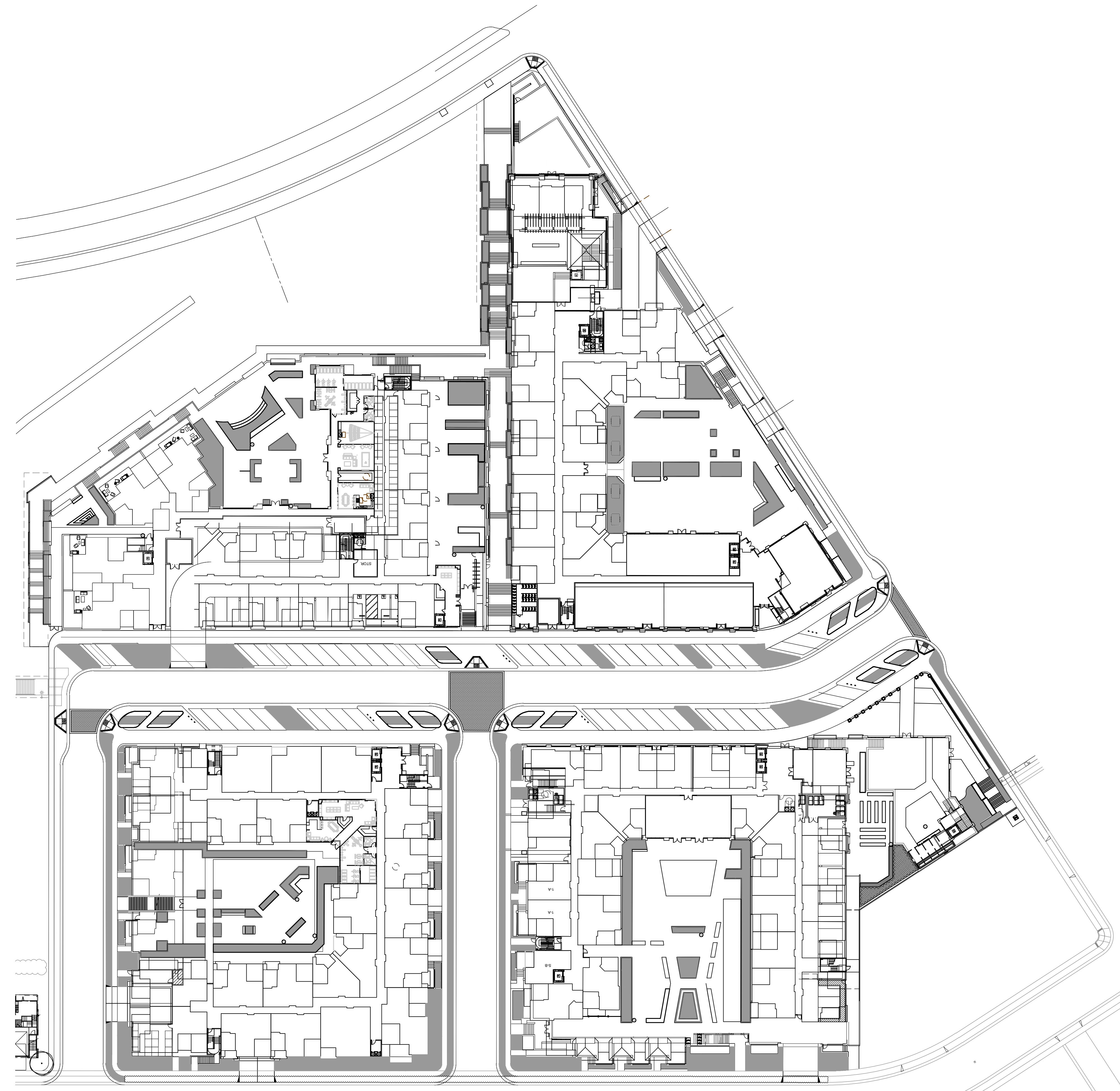
- 6" HIGH EFFICIENCY POP-UP SPRAY HEADS FOR TURF/LAWN AREAS
- 6 - 12" HIGH EFFICIENCY POP-UP SPRAY HEADS OR IN-LINE DRIP TUBING FOR SHRUBS AND GROUND COVER AREAS. LOW VOLUME BUBBLERS FOR TREES AND LARGE SHRUBS MASSES.

IRRIGATION DESIGN CRITERIA:

1. FINAL DESIGN SHALL CONFORM TO AB1881 OR CITY ADOPTED WATER EFFICIENT LANDSCAPE ORDINANCE.
2. ALL PLANTING AREAS SHOWN WILL BE COMMONLY MAINTAINED BY THE OWNER AND IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.
3. IRRIGATION SYSTEMS WILL BE PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. THESE SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL AFTER GRADING AND PRIOR TO PLANT MATERIAL INSTALLATION AND HYDROSEEDING.
4. ALL TURF, TREE, SHRUB AND GROUND COVER AREAS WILL BE IRRIGATED BY A PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM. ALL SPRAY AREAS WILL BE IRRIGATED BY HIGH EFFICIENCY MATCHED PRECIPITATION RATE POP-UP SPRAY HEADS. TURF, TREE, SHRUB, AND GROUND COVER AREAS SHALL BE ON SEPARATE VALVES ACCORDING TO PLANT WATER REQUIREMENTS AND EXPOSURE.
5. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, MAINTAINED AND MANAGED TO MEET OR EXCEED MINIMUM EFFICIENCY.
6. ALL IRRIGATION EQUIPMENT SHALL BE SCREENED APPROPRIATELY FROM VIEW IN PUBLIC AREAS TO THE MAXIMUM EXTENT POSSIBLE.
7. THE FINAL IRRIGATION PLAN SHALL ACCURATELY AND CLEARLY IDENTIFY:
 - A. LOCATIONS AND SIZES OF WATER POINTS OF CONNECTION.
 - B. LOCATION, TYPE AND SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM, INCLUDING AUTOMATIC CONTROLLERS, MAIN AND LATERAL LINES, VALVES, SPRINKLER HEADS, RAIN SWITCHES, AND QUICK COUPLERS.
 - C. STATIC WATER PRESSURE AT THE POINTS OF CONNECTION.
 - D. FLOW RATE (GALLONS PER MINUTE), REMOTE CONTROL VALVE SIZE, AND DESIGN OPERATING PRESSURE (PSI) FOR EACH STATION.
 - E. HYDROZONE INFORMATION TABLE.
 - F. WATER USE CALCULATIONS.
8. MULTIPLE NEW IRRIGATION WATER METERS TO BE INSTALLED AS PART OF LANDSCAPE IMPROVEMENTS, LOCATIONS TO BE DETERMINED.

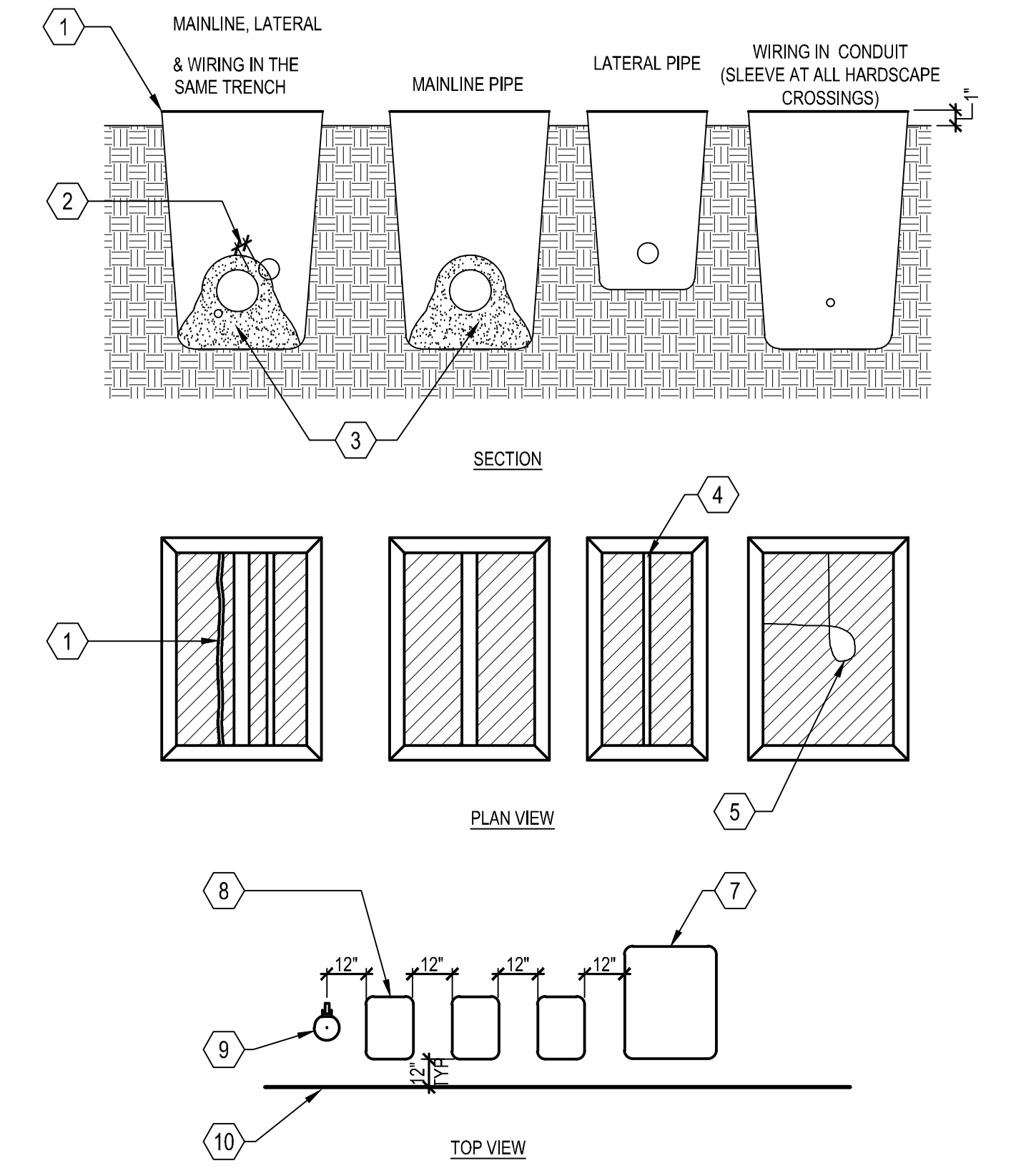
SBWR RECLAIMED WATER NOTES:

1. THIS PROJECT IS NOT A PART OF THE SOUTH BAY WATER RECYCLING PROGRAM. POTABLE WATER WILL BE USED FOR IRRIGATION.



PROJECT NO:	3636.70
CAD DWG FILE:	363674 CL P43.DWG
DESIGNED BY:	LS
DRAWN BY:	KY
CHECKED BY:	CM
DATE:	APRIL 10, 2017
SCALE:	1"=40'

- NOTE:**
SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH THE SLEEVING TWICE THE DIAMETER OF WIRE BUNDLE CONTAINED IN IT. SEE IRRIGATION LEGEND FOR MINIMUM COVER.
- INSTRUCTIONS:**
1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
3. SET PVC AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.
7. NEVER INSTALL VALVE BOX IN HARDSCAPE
- 1 FINISHED GRADE
 - 2 PROVIDE A MIN. OF 2" CLEAR BETWEEN PIPES
 - 3 PROVIDE A 3" MINIMUM SAND ENVELOPE AROUND ALL MAINLINE
 - 4 SNAKE SOLVENT WELD PLASTIC PIPING IN TRENCH AS SHOWN
 - 5 TIE A 24" LOOP IN WIRING AT CHANGES OF DIRECTION 30 DEGREES OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE
 - 6 INSTALL WIRING BENEATH AND BESIDE MAINLINE. TAPE AND BUNDLE AT 10 FOOT INTERVALS
 - 7 16" x 25" RECTANGULAR VALVE BOX FOR EMITTER MANIFOLD ASSEMBLY.
 - 8 14" x 19" RECTANGULAR VALVE BOX.
 - 9 QUICK COUPLING VALVE
 - 10 EDGE OF LAWN, WALK, FENCE, CURB, ETC.



I INSTALLATION DIAGRAMS
N.T.S.

- NOTE:**
1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
- 1 POTTERY
 - 2 PLANT BACKFILL-PER PLANTING DETAILS
 - 3 FLOOD BUBBLER ADJUSTABLE NOZZLE-PER IRRIGATION LEGEND. SECURE TO TORO 570Z SHRUB ADAPTER. POSITION BUBBLER OVER ROOT BALL AND ABOVE FINISHED GRADE
 - 4 UV RADIATION RESISTANT 1/2" PVC SCH40 (MIPT X SLIP) MALE ADAPTER
 - 5 TUBING STAKES PVC COATED 12 GAUGE WIRE U STAKES QUANTITY AS NEEDED TO SECURE TUBING (2 MIN) SALCO OR EQUAL
 - 6 1/2" S. FLEXIBLE SCH 40 PVC HOSE (BLACK)
 - 7 12" CHECK VALVE
 - 8 FINISHED GRADE
 - 9 1/2" PVC SCH 40 (MIPT X SLIP) MALE ADAPTER UV RADIATION RESISTANT
 - 10 PVC SCH 40 TEE OR ELL 3/4" X 3/4" X 1/2" (SLIP XSLIP X FIPT)
 - 11 PVC LATERAL PIPE- SIZE PER PLAN
 - 12 MULCH
 - 13 1/2" PVC PIPE SCH 40

J POTTERY IRRIGATION
N.T.S.

- NOTE:**
1. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION
2. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
3. THE TOTAL LENGTH OF ALL INTERCONNECTED DRIP LINE SHALL NOT EXCEED THE MAXIMUM RUN LENGTH
- 1 DRIPLINE AUTOMATIC FLUSH VALVE PLUMBED TO FLUSH MANIFOLD AT LOW POINT
 - 2 PVC FLUSH MANIFOLD
 - 3 DRIPLINE MANIFOLD-TO-ELBOW CONNECTION
 - 4 DRIPLINE MANIFOLD-TO-TEE CONNECTION
 - 5 DRIPLINE OPERATION INDICATOR
 - 6 REMOTE CONTROL VALVE WITH FILTER AND PRESSURE REGULATOR
 - 7 PVC SUPPLY MANIFOLD
 - 8 ZONE PERIMETER
 - 9 DRIPLINE LATERAL
 - 10 AIR/VACUUM RELIEF LATERAL DRIPLINE BLANK TUBING CENTERED ON MOUND OR BERM
 - 11 DRIPLINE AIR/VACUUM RELIEF VALVE PLUMBED TO DRIPLINE BLANK TUBING AT EACH HIGH POINT
 - 12 PERIMETER LATERALS 2" TO 4" FROM EDGE

F DRIPLINE CENTER-FEED LAYOUT
N.T.S.

- NOTE:**
1. DO NOT LOCATE REMOTE CONTROL VALVE IN LAWN
2. COMPACT SOIL AROUND BOX TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL. BUNDLE AND TAPE CONTROL WIRE TO MAINLINE EVERY 10'
3. SPLICES IN CONTROL WIRE ARE NOT ALLOWED BETWEEN CONTROLLER AND VALVE
4. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION
5. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
- 1 18" LENGTH EXPANSION LOOP
 - 2 SCOTCH LOK #3577 CONNECTOR SEALING PACK OR EQUAL
 - 3 ID TAG FOR VALVE STATION NUMBER
 - 4 VALVE BOX: CARSON SPECIFICATION GRADE, NDS PRO SERIES, OR EQUAL
 - 5 TOP OF MULCH
 - 6 REMOTE CONTROL VALVE: SEE IRRIG. LEGEND
 - 7 PVC SCH 80 NIPPLE (CLOSE)
 - 8 PVC SCH 40 MIN 8" LONG
 - 9 PVC 45 FITTING SCH 40
 - 10 PVC SCH 40
 - 11 S X S FITTING
 - 12 PVC MAINLINE PIPE
 - 13 PEA GRAVEL SUMP, MIN. 6" DEEP
 - 14 LATERAL LINE
 - 15 BRICK SUPPORT-1 PER CORNER

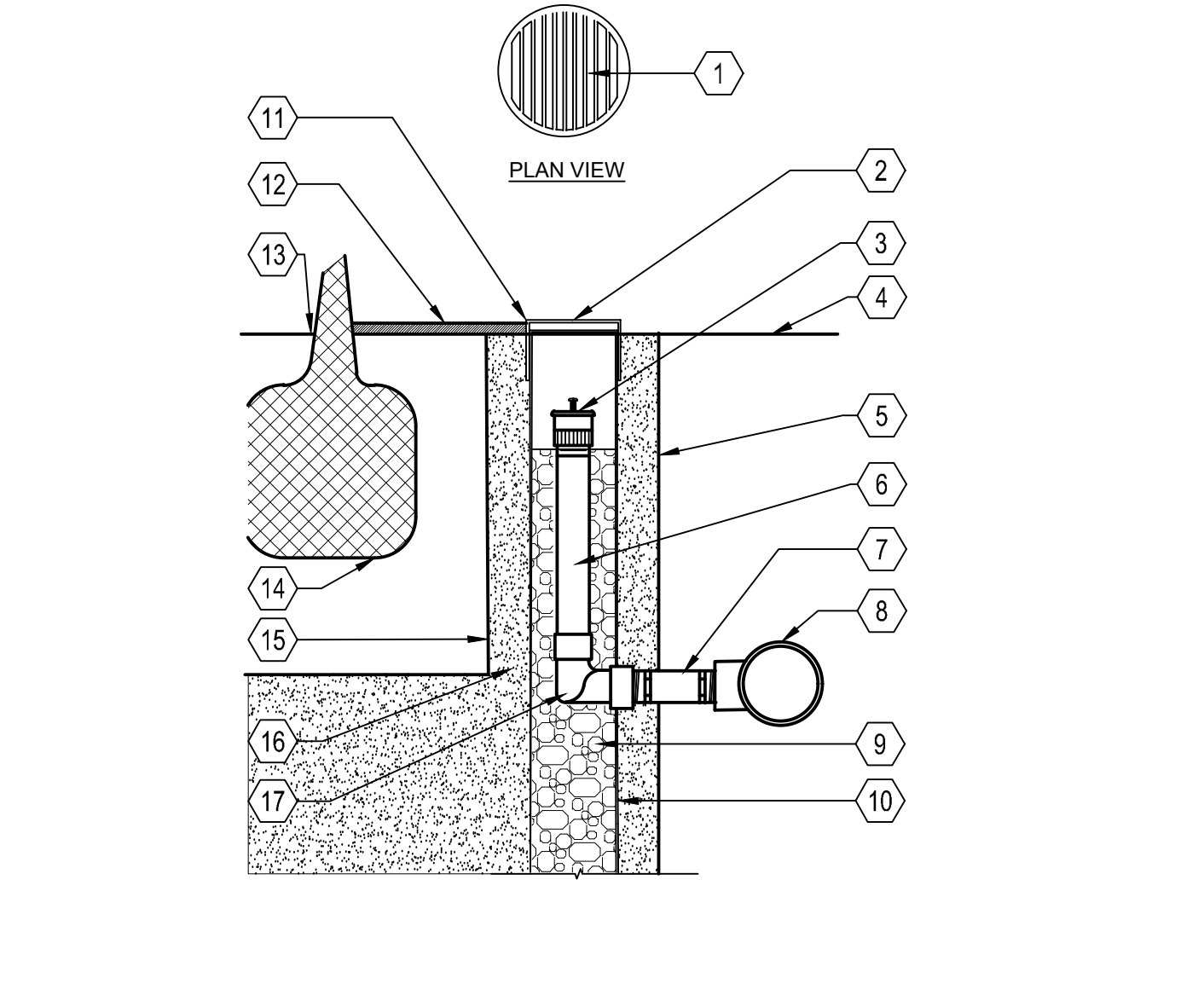
G REMOTE CONTROL VALVE
N.T.S.

- NOTE:**
1. ALWAYS INSTALL SPRAY SPRINKLER PERPENDICULAR TO FINISHED GRADE.
2. SEE IRRIGATION LEGEND FOR EQUIPMENT SPECIFICATION.
3. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 1 1/2" ABOVE FINISHED GRADE
 - 2 FINISHED GRADE/TOP OF MULCH
 - 3 POP-UP SPRAY SPRINKLER: SEE LEGEND FOR MAKE, MODEL AND NOZZLE TYPE
 - 4 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
 - 5 MARLEX STREET ELL
 - 6 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
 - 7 PVC SCH 40 TEE OR ELL
 - 8 PVC LATERAL PIPE

H POP UP SPRINKLER
N.T.S.

- 1 4"Ø OPEN GRATE CAP FOR PERFORATED DRAIN PIPE NOT TO SCALE - TYP.
- 2 SMOOTH PLASTIC DRAIN PIPE CAP OPEN GRATE TYPE - TYP.
- 3 BUBBLER HEAD (SEE IRRIGATION LEGEND FOR BUBBLER MAKE & MODEL)
- 4 FINISHED GRADE
- 5 LIMIT OF EXCAVATED TREE PLANTING PIT
- 6 PVC SCHD. 80 NIPPLE LENGTH AS REQUIRED
- 7 REQUIRED PVC LATERAL PIPE
- 8 PVC SCH 40 TEE OR ELL CONNECTED TO IRRIGATION NON PRESSURE LATERAL LINE
- 9 3/4" DRAIN ROCK
- 10 4" ROUND PERFORATED PLASTIC DRAIN PIPE 18" LONG
- 11 DISTANCE FROM FINISHED GRADE NOT TO EXCEED 2" MAX.
- 12 SEE PLANS FOR ADJACENT MATERIAL
- 13 PLANT CROWN
- 14 ROOT BALL
- 15 PLACE PERFORATED PIPE 6" MAX. FROM ROOTBALL TYP.
- 16 BACKFILL PLANTING MIX
- 17 PVC SCHED. 40 90 ELL.

D BELOW GRADE TREE BUBBLER
SCALE: NOT TO SCALE



D BELOW GRADE TREE BUBBLER
SCALE: NOT TO SCALE

- NOTE:**
1. NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE
2. SEE IRRIGATION LEGEND FOR SPECIFICATION
3. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID
 - 2 FINISHED GRADE
 - 3 PEA GRAVEL SUMP, MIN. 6" DEPTH
 - 4 3" LONG SCHEDULE 80 PVC THREADED NIPPLE
 - 5 SCH 80 PVC THREADED 90 DEGREE ELL
 - 6 PVC MAINLINE
 - 7 MAINLINE FITTING
 - 8 10" LONG SCH 80 PVC THREADED NIPPLE
 - 9 10" QUICK COUPLING VALVE
 - 10 QUICK COUPLING VALVE
 - 11 1 1/4" x 1 1/4" x 3/16" ANGLE IRON 30" LONG, 2 STAINLESS STEEL STRAPS
 - 12 BRICK SUPPORTS, 2 TOTAL

E QUICK COUPLING VALVE
N.T.S.

- NOTE:**
1. VERIFY POWER SOURCE WITH PROJECT ELECTRICIAN.
2. ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES. REFER TO PRODUCT LITERATURE FOR ADDITIONAL INSTALLATION REQUIREMENTS. THIS DRAWING IS PROVIDED FOR REFERENCE ONLY. INDIVIDUAL PROJECT REQUIREMENTS AND LOCAL CODES MAY DICTATE DIFFERENCES IN INSTALLATION PROCEDURES THAT ARE NOT IDENTIFIED ON THIS DETAIL.
- 1 FINISHED GRADE
 - 2 2-1" PVC CONDUITS FOR 120 VOLT A.C. AND SIGNAL WIRE IRRIGATION CONTROLLER-SEE IRRIGATION LEGEND FOR SPECIFICATION
 - 3 GATE VALVE: SEE LEGEND FOR MAKE AND MODEL - LINE SIZE SCH 40 PVC MALE ADAPTOR
 - 4 24 VOLT CONTROL WIRING
 - 5 CONCRETE PAD-6" THICK (MIN.) EXTEND 6" BEYOND EACH SIDE AND BACK AND 24" IN FRONT
 - 6 GROUND WIRE
 - 7 4" PVC SWEEP ELL ROUND
 - 8 PLASTIC VALVE BOX SEE SPECIFICATIONS FOR TYPE
 - 9 8' LONG COPPER GROUND ROD

A PEDESTAL MOUNT CONTROLLER
N.T.S.

- NOTE:**
1. PLACE AGGREGATE PRIOR TO INSTALLATION OF VALVE BOX
2. INSTALL VALVE BOX SO TOP OF BOX IS FLUSH WITH ADJACENT HARDSCAPE
- 1 VALVE BOX (CARSON 910-12B) OR EQUAL
 - 2 FINISHED GRADE/ BEFORE PLANTING
 - 3 GATE VALVE: SEE LEGEND FOR MAKE AND MODEL - LINE SIZE SCH 40 PVC MALE ADAPTOR
 - 4 PVC SCH 40 MIN 8" LONG
 - 5 PVC 45 FITTING SCH 40 (TYP.)
 - 6 PVC SCH 40
 - 7 PVC SCH 40
 - 8 BRICK SUPPORT, 2 TOTAL
 - 9 PVC MAINLINE PIPE
 - 10 PEA GRAVEL SUMP, MIN. 6" DEEP

B GATE VALVE
N.T.S.

- NOTE:**
1. BUBBLER DISTANCE TO ROOT BALL WILL VARY DEPENDING ON THE CONTAINER SIZE OF THE PLANT.
2. PLACE ALL BUBBLER ON UPHILL SIDE OF SLOPE IF APPLICABLE CONCEAL ALL EQUIPMENT UNDER MULCH.
3. SEE IRRIGATION LEGEND FOR SPECIFICATION.
4. INSTALL ALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 1 POSITION BUBBLER OVER ROOT BALL
 - 2 FLOOD BUBBLER NOZZLE (SEE LEGEND FOR MODEL) SECURED TO SHRUB ADAPTER
 - 3 UV RADIATION RESISTANT 1/2" PVC SCHED 40 (MIPT X SLIP) MALE ADAPTER
 - 4 TUBING STAKES PVC COATED 12 GAUGE WIRE U STAKES QUANTITY AS NEEDED TO SECURE TUBING (2 MINIMUM) SALCO OR EQUAL
 - 5 1/2" S. FLEXIBLE SCH 40 PVC HOSE (BLACK)
 - 6 SOIL RING (SEE PLANTING DETAILS)
 - 7 FINISHED GRADE
 - 8 1/2" PVC SCH 40 (MIPT X SLIP) MALE ADAPTER UV RADIATION RESISTANT
 - 9 PVC SCH 40 TEE OR ELL 3/4" X 3/4" X 1/2" (SLIP XSLIP X FIPT)
 - 10 PVC LATERAL PIPE
 - 11 MULCH PER SPECIFICATIONS
 - 12 PLANT CROWN
 - 13 ROOT BALL

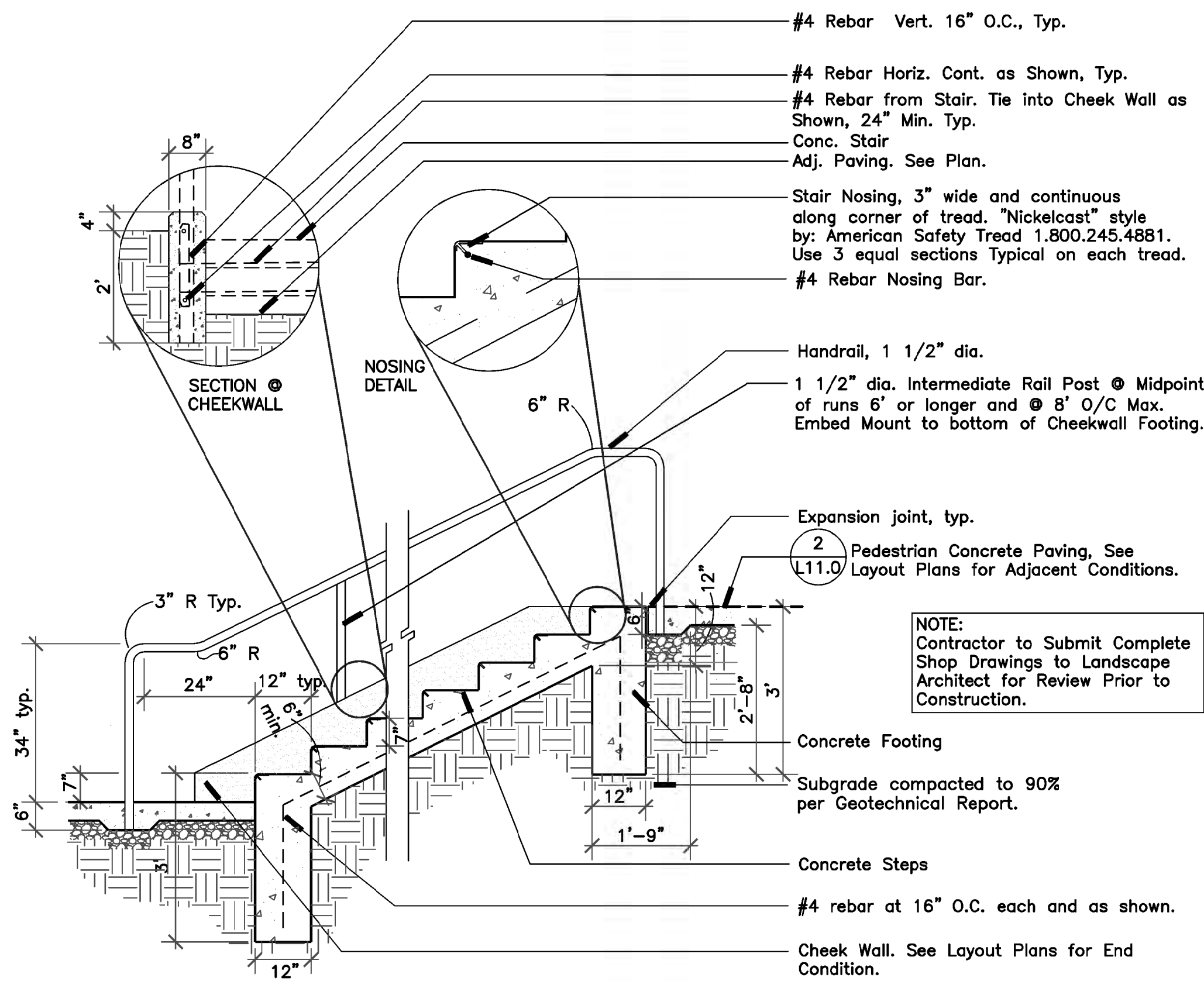
C SHRUB BUBBLER
N.T.S.

PROJECT NO:	3636.70
CAD DWG FILE:	363674 CL PH3.DWG
DESIGNED BY:	LS
DRAWN BY:	KY
CHECKED BY:	CM
DATE:	APRIL 10, 2017
SCALE:	N.T.S.

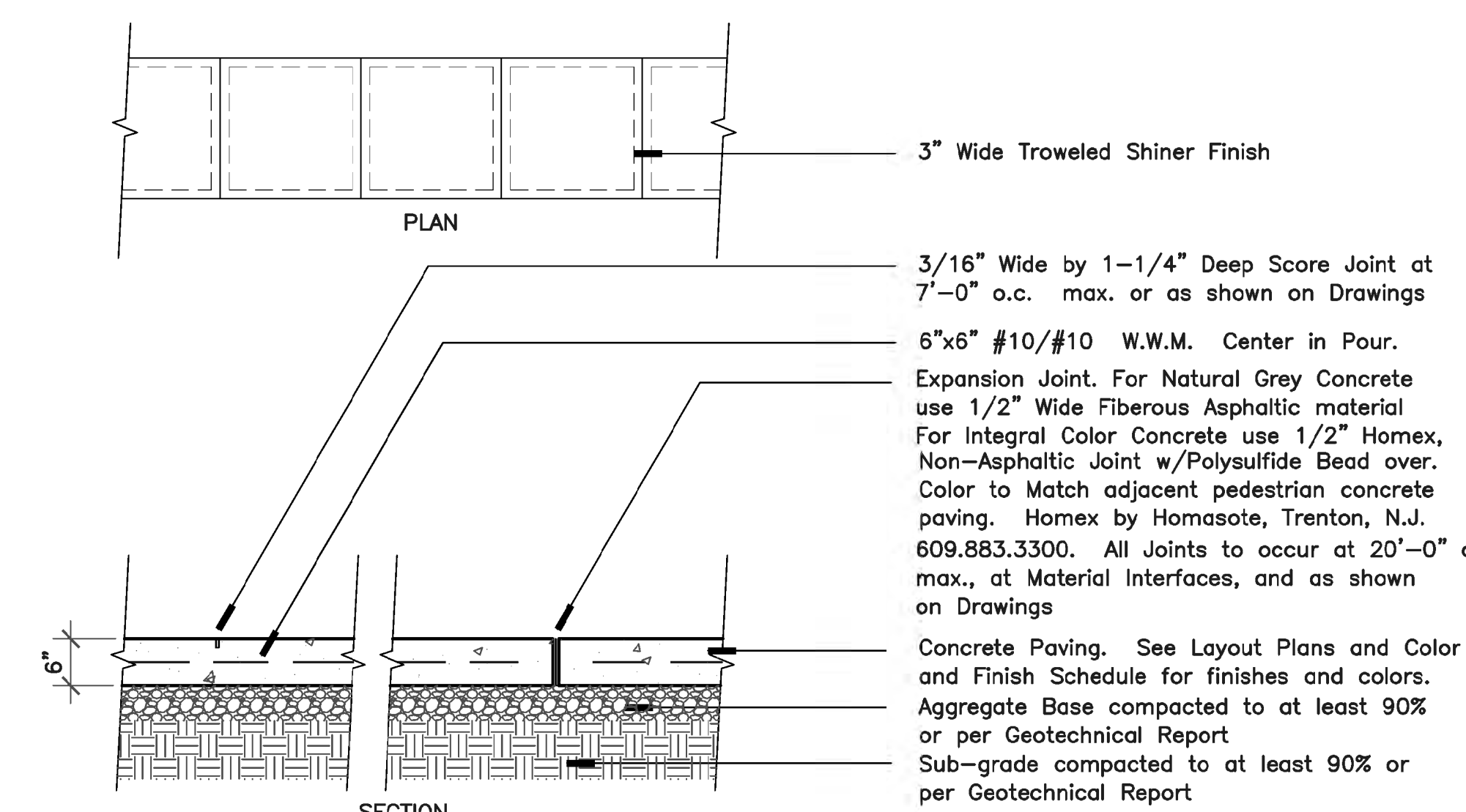
COLOR AND FINISH SCHEDULE

PEDESTRIAN CONCRETE PAVING - *All colors to be: DAVIS COLORS
Type 1 Natural gray concrete with light broom finish. Sweep perpendicular to path of travel.

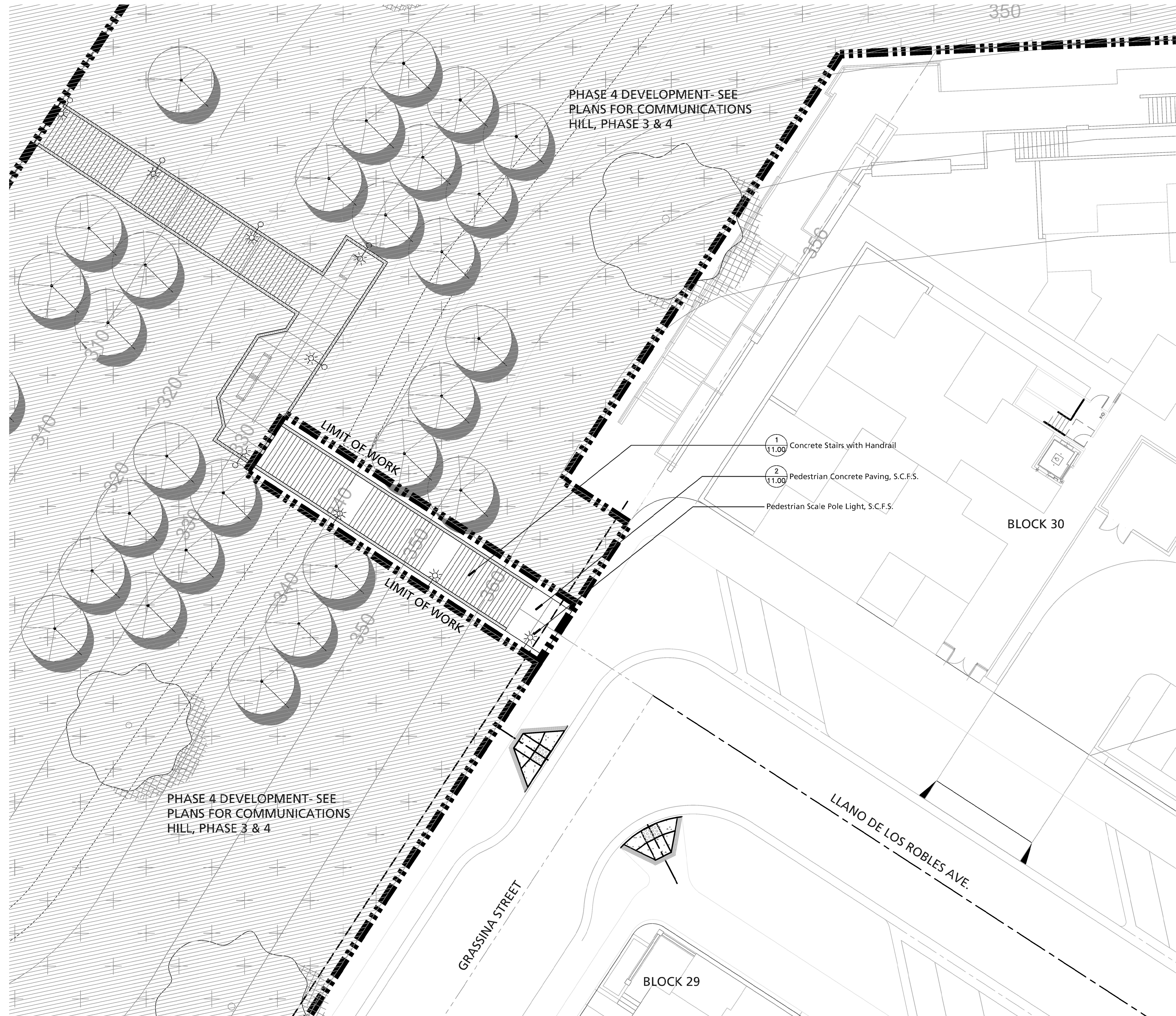
LIGHTING
PEDESTRIAN SCALE POLE LIGHT - SFRP SlenderForm Round Post Top LED by Phillips Gardco, 12' Lighting Pole, Pole and fixture to be black. Available from Signify, (T) 800.555.0050. Contractor to submit sample to Landscape Architect for approval prior to fabrication. Contractor to provide unit price.



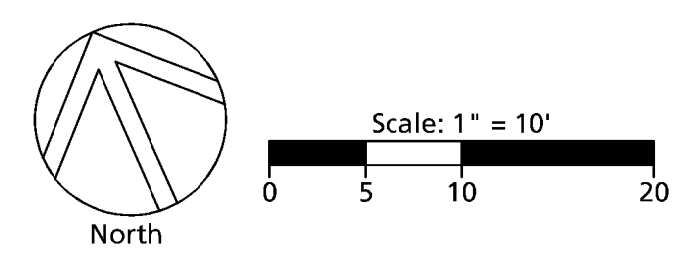
1 Concrete Stairs with Handrail
Scale: 1/2" = 1'-0"



2 Pedestrian Concrete Paving
Scale: 1" = 1'-0"



- 1 Concrete Stairs with Handrail
- 2 Pedestrian Concrete Paving, S.C.F.S.
- Pedestrian Scale Pole Light, S.C.F.S.



PROJECT NO.	3636.70	
CAD DWG FILE: VILLAGE CENTER STAIRWAY DWG		
DESIGNED BY:		
DRAWN BY:		
CHECKED BY:		
DATE:	APRIL 10, 2017	
SCALE:	AS SHOWN	
NO	DATE	DESCRIPTION
2	01/24/20	PER CITY COMMENTS
1	08/09/19	PER CITY COMMENTS